

Lyons Valley Townhomes

LYONS, CO

DIRECTORY

PROPERTY OWNER

Lyons Valley Townhomes, LP
Contact: Rusty Snow
406.541.0999 ex 233
283 West Front Street
Missoula, MT 59801

DEVELOPMENT TEAM

Lyons Town Administrator
Contact: Victoria Simonsen
430.823.6622 ex 19
432 5th Avenue
Lyons, CO 80640

Town Planner, Town of Lyons
Contact: Paul Glasgow
303.823.6622 ex 25
432 5th Avenue
Lyons, CO 80640

Summit Housing Group
Contact: Rusty Snow
Tori Stedman, Assistant PM
406.541.0999 ex 233
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ARCHITECT

Encompass Design Inc.
Contact: Jennifer Clary, Principal
Hope Fisher, Project Manager
406.540.4437
1535 Liberty Lane, Suite 110B
Missoula, MT 59808

CIVIL SURVEY

Scott Cox & Associates
Contact: Don Ash; PE
303.444.3051
1530 55th Street
Boulder, CO 80303

STRUCTURAL

Morrison-Maierle
Contact: Maria Chestnut; PE, MLSE
406.529.4945
1055 Mount Avenue
Missoula, MT 59801

MECHANICAL

DC Engineering
Contact: Jason Hamlin
406.218.2180
123 West Spruce Street
Missoula, MT 59802

ELECTRICAL

DC Engineering
Contact: Larry Palmer
406.218.2184
123 West Spruce Street
Missoula, MT 59802

LANDSCAPE

Outside LA, LLC
Contact: Sandi Gibson
303.517.9626
Boulder, CO

CERTIFICATES

OWNER SIGNATURE:

SURVEYOR SIGNATURE:

UTILITIES SIGNATURE:

TOWN PLANNER SIGNATURE:

ABBREVIATIONS

A	Area	E	Existing	J	JST	R	Radius
AB	Anchor Bolt	EA	Each	JT	Joint	REF	Reference
ADA	Americans with Disabilities Act	EJ	Expansion Joint			REFG	Refrigerator
AFF	Above Finished Floor	ELEC	Electrical	M	MAT	REQ	Required
ALT	Alternate	EQ	Equal	MAT	Masonry	REV	Revision
ALUM	Aluminum	EXT	Exterior	MAS	Maximum	RM	Room
B		FD	Floor Drain	MB	Mechanical Bolt	RO	Rough Opening
BB	Base Board	FND	Foundation	MECH	Mechanical		
BLDG	Building	FOS	Face of Stud	MIN	Minimum		
BLKG	Blocking	FPHB	Frost Proof Hose Bib	MISC	Miscellaneous	SF	Square Foot
BO	Bottom Of	FR	Fire Riser	MTL	Metal	SHT	Sheet
BRG	Bearing	FRP	Pre-Reinforced Panel	N	Not Applicable	SIM	Similar
C		FT	Foot	NO	Number	SPEC	Specification
CABO	Council Amer. Building Officials	FTG	Footing	NTS	Not to Scale	STC	Sound Transmission Class
CL	Center Line	GA	Gauge			STD	Standard
CLR	Clear	GALV	Galvanized			STRUCT	Structural
CMU	Concrete Masonry Unit	G.D.	Garbage Disposal	OAL	Over All Length	SYM	Symmetrical
COL	Column	GFI	Ground Fault Interrupter	OC	On Center		
CONC	Concrete	GLB	Glue Laminated Beam (Glue-Lam)	OD	Outside Diameter	T&G	Tongue & Groove
CONST	Construction	GSC	Owner Supplied/Contractor Installed	OPP	Opposite	TEMPO	Tempered
CONT	Continuous	GYP	Gypsum	OSCI	Owner Supplied/Owner Installed	THK	Thick
CORD	Coordinate	H	Hollow Core	OSOI		TO	Top of
CSCI	Contractor Supply, Contractor Install	HDR	Header			TYP	Typical
D		HDW	Hardware	P	Pedestrian	U	Underwriters Laboratory Inc.
DIA	Diameter	HM	Hollow Metal	PERIM	Perimeter	UNO	Unless Noted Otherwise
DIM	Dimension	HORIZ	Horizontal	PL	Plate		
DIV	Division	HT	Height	PLMBG	Plumbing	V	Vertical
DN	Down	HW	Hot Water	PLWD	Plywood	PSF	Pounds per Square Foot
DR	Door			PSI	Pounds per Square Inch	VB	Vinyl Base
DTL	Detail			PSI		VIF	Verify in the Field
DWG	Drawing	I	International Building Code	QNTY	Quantity	W	With
		ID	Inside Diameter	QTR	Quarter	W/O	With Out
		INSUL	Insulation	QUAL	Qualification	WD	Wood
		INT	Interior			WM	Water Meter
						WP	Waterproof

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL JOBSITE DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK. ALL REPORT AND DISCREPANCIES TO THE ARCHITECT. USE WRITTEN DIMENSIONS. DO NOT SCALE DRAWINGS. WHERE NO DIMENSION IS PROVIDED, COORDINATE WITH ARCHITECT BEFORE PROCEEDING WITH WORK.

2. ALL WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SUPERVISION TO PERFORM THE WORK AND CONSTRUCTION FOR THE PROJECT AS INDICATED IN THESE DOCUMENTS AND SPECIFICATIONS.

3. THE DESIGN, ADEQUACY AND SAFETY OF ERECTING AND BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY AN ENGINEER.

4. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF WALLS AND FINISH MATERIALS. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL DRAWINGS WITH ALL TRADES.

5. GENERAL CONTRACTOR TO PROVIDE SECURITY AND PROTECTION FACILITIES THAT INCLUDE, BUT ARE NOT LIMITED TO: BARRICADES, WARNING SIGNS & LIGHTING PROTECTION DURING CONSTRUCTION.

6. ALL MATERIALS & FINISHES ARE TO BE AS SPECIFIED, OR APPROVED EQUAL, SEE SPECS.

7. SUBSTITUTIONS SHALL BE APPROVED PRIOR TO THE BID; SEE SUBSTITUTION REQUEST SPECIFICATION. ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT/OWNER PRIOR TO COMMENCING WITH ANY FABRICATION AND/OR INSTALLATION.

8. PROVIDE 1 YEAR WARRANTY FOR ALL WORKMANSHIP.

9. PRIOR TO THE BEGINNING OF ANY WORK, CONTRACTOR TO OBTAIN ALL PERMITS, INSPECTIONS AND CERTIFICATES NECESSARY FOR OCCUPANCY BY TENANT U.N.O. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODE, LAWS, RULES AND REGULATIONS OF ALL CONSTITUTED AUTHORITIES HAVING JURISDICTION. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE APPLICABLE BUILDING CODES ON CODE PLANS.

10. CONTRACTOR SHALL FURNISH OWN TRASH DISPOSAL AS WELL AS A CONSTRUCTION WASTE MANAGEMENT PLAN. WASTE DISPOSAL IN LANDFILLS SHALL BE MINIMIZED AND AS MANY OF THE MATERIALS AS FEASIBLE SHALL BE REUSED, SALVAGED OR RECYCLED. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION WASTE MANAGEMENT PLAN FOR THIS CONTRACT, WHICH INCLUDES BUT IS NOT LIMITED TO CONCRETE, ASPHALT AND WOOD.

11. CONTRACTOR SHALL BE HELD LIABLE FOR ALL THE DAMAGE TO THE PROPERTY, BUILDING AND ALL "EXISTING" ELEMENTS BY THEIR PERSONNEL OR SUBCONTRACTORS. ANY DAMAGE SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ITEMS FOR RETURNING ITEMS TO THEIR ORIGINAL CONDITION.

12. THE CONTRACTOR SHALL FOLLOW SIZES AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND SHALL FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS. DO NOT SCALE DRAWINGS.

13. WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.

14. THE USE OF THESE DOCUMENTS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. ANY PUBLICATION, REUSE OR REPRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. OWNERSHIP AND TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF ENCOMPASS DESIGN INC. VISUAL CONTACT WITH THESE PLANS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

15. ANY OMISSION OR CONFLICTS BETWEEN VARIOUS ELEMENTS WITHIN THESE DOCUMENTS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY AFFECTED WORK.

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF OTHER TRADES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, LANDSCAPE, ACOUSTIC, PLUMBING AND STRUCTURAL COMPONENTS AS WELL AS THOSE ITEMS SUPPLIED BY THE OWNER. GENERAL CONTRACTORS AND SUBCONTRACTORS TO BRING ANY OMISSIONS OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID FOR APPROPRIATE RESOLUTION.

17. THESE DOCUMENTS ARE THE PROPERTY OF ENCOMPASS DESIGN AND ARE NOT TO BE REPRODUCED OR COPIED. THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT.

18. THESE DOCUMENTS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. THE METHODS OF SUCH CONSTRUCTION AND THE ASSOCIATED RISKS INVOLVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

19. THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING DURING ALL STAGES OF CONSTRUCTION. GENERAL CONTRACTOR RESPONSIBLE FOR ANY AND ALL SHORING.

PROJECT FEATURES + REQUIREMENTS

1. PARCEL AREA: 166.592 SQUARE FEET (3.82 ACRES)

2. EXISTING ZONING: R-1 LOW DENSITY RESIDENTIAL DISTRICT W/ A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY

3. ADJACENT ZONING: A-1 AGRICULTURAL DISTRICT, POS PARKS & OPEN SPACE DISTRICT

4. SURFACE PARKING: 50 TOTAL SPACES REQUIRED:

- 3 TUCK-UNDER PARKING SPOTS
- 47 UNENCLOSED PARKING SPOTS
- (1 HANDICAP ACCESSIBLE VISITOR SPACE)
- (6 HANDICAP ACCESSIBLE DWELLING UNIT SPOTS)

5. BEARINGS & DISTANCES OF ALL LOT LINES, SEE CIVIL SHEETS

6. PROPOSED LAND USES FOR THE PROPERTY, SEE CIVIL SHEETS

7. EXISTING PUBLIC WATER & SEWER LINES & PROPOSED CONNECTIONS, SEE CIVIL SHEETS

8. OPEN SPACE & TRAIL NETWORKS, SEE CIVIL SHEETS & SITE PLAN

9. ADJACENT PROPERTIES IDENTIFIED BY ZONING DISTRICT, SEE CIVIL SHEETS

10. 21 TOTAL MULTI FAMILY UNITS ON THE SITE, (2) TYPE A, (1) TYPE AV, (1) TYPE B GROUND FLOOR UNITS, (5) BUILDING UNITS

EACH UNIT: (2) TWO BEDROOM/1 BATH UNITS, 860 OR 866 SQ. FT. EACH

MAX. HEIGHT: 28'-4", SEE ARCHITECTURAL ELEVATIONS

PROJECT NET DENSITY: 21 DWELLING UNITS / 3.82 ACRES

ADJACENT LAND OWNERS OF ADJACENT LOTS LISTED ON SEPERATE AMENDMENT.

DRAWING INDEX

GENERAL INFORMATION	COVER	COVER
CIVIL DRAWINGS		
C1.01	COVER SHEET	
C1.05	OPEN SPACE PLAN	
C2.01	EXISTING CONDITIONS	
C2.02	CIVIL SITE PLAN	
C2.03	GRADING PLAN	
C2.04	UTILITY PLAN	
C2.05	STORMWATER MANAGEMENT PLAN	
C3.01	SEWER PLAN & PROFILE	
C4.01	WATER PLAN & PROFILE	
C5.01	STORM SEWER PLAN & PROFILE	
C6.01	DRIVEWAY PLAN & PROFILE	
C7.01	CIVIL DETAILS	
C7.02	CIVIL DETAILS	
C7.03	CIVIL DETAILS	
C7.04	CIVIL DETAILS	
C7.05	CIVIL DETAILS	
C7.06	CIVIL DETAILS	
C7.07	CIVIL DETAILS	
C7.08	CIVIL DETAILS	
C7.09	CIVIL DETAILS	
C7.10	CIVIL DETAILS	

ARCHITECTURAL DRAWINGS	
A3.1A	BUILDING ELEVATIONS
A3.2A	BUILDING ELEVATIONS
A3.3A	EXTERIOR VIEWS
A3.1B	BUILDING ELEVATIONS
A3.2B	BUILDING ELEVATIONS
A3.3B	EXTERIOR VIEWS
A3.1C	BUILDING ELEVATIONS
A3.2C	BUILDING ELEVATIONS
A3.3C	EXTERIOR VIEWS
A3.1D	BUILDING ELEVATIONS
A3.2D	BUILDING ELEVATIONS
A3.3D	EXTERIOR VIEWS
LANDSCAPE DRAWINGS	
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES & DETAILS
ELECTRICAL DRAWINGS	
E1.0	ELECTRICAL SITE PLAN
E1.1	ELECTRICAL PHOTOMETRICS

STATISTICAL INFORMATION

1. NET LAND AREA, GROSS LAND AREA AND STREETS, SEE CIVIL PLANS

2. IMPERVIOUS COVERAGE, SEE CIVIL PLANS

3. CUMULATIVE GROSS FLOOR AREA

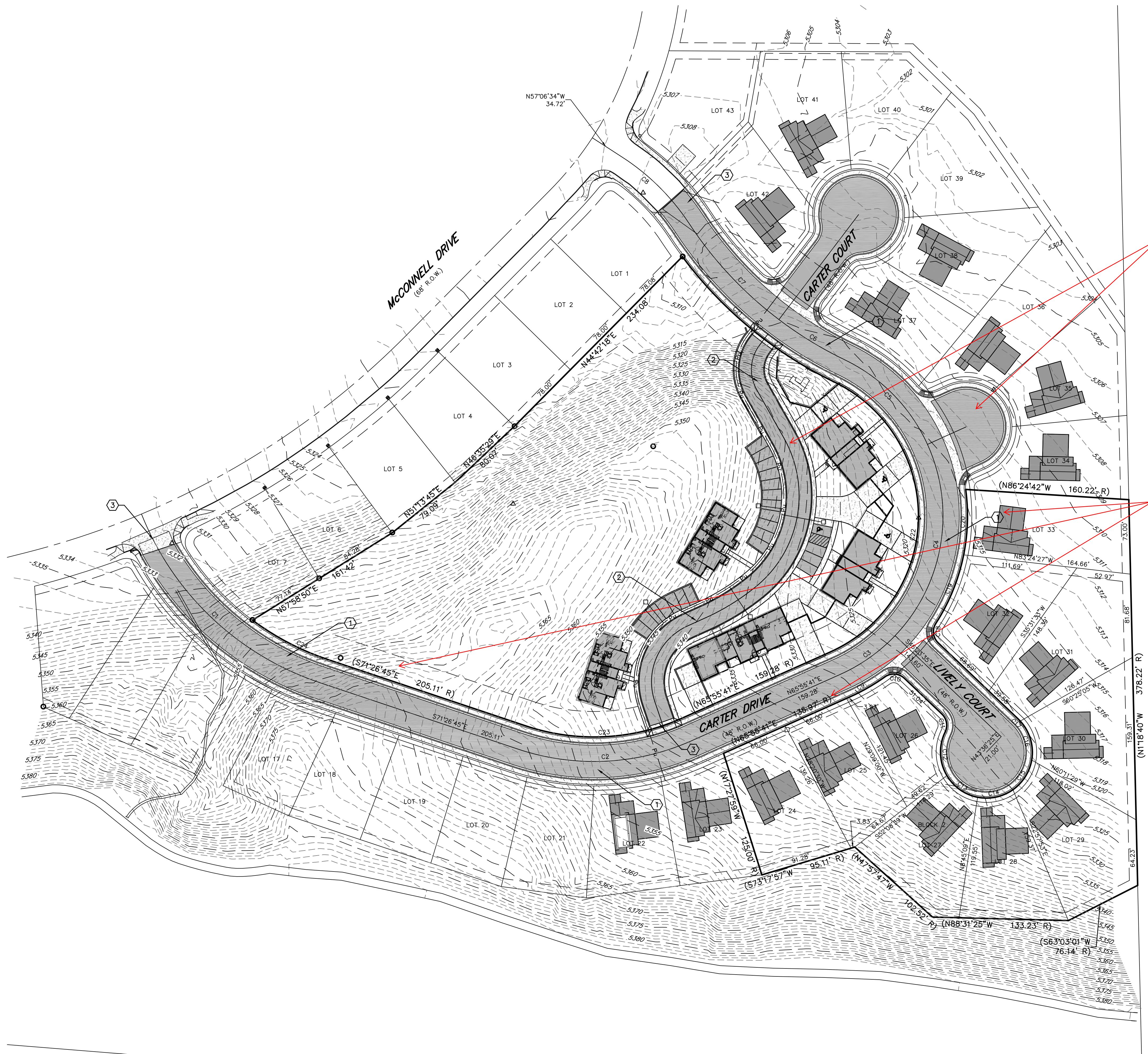
BUILDING A = 1ST FLOOR - 2096 SF
2ND FLOOR - 2332 SF
BUILDING B = 1ST FLOOR - 2095 SF
2ND FLOOR - 2095 SF
BUILDING C = 1ST FLOOR - 1042 SF
2ND FLOOR - 2924 SF
3RD FLOOR - 1182 SF
BUILDING D = 1ST FLOOR - 2095 SF
2ND FLOOR - 2095 SF
BUILDING E = 1ST FLOOR - 2095 SF
2ND FLOOR - 2095 SF

4. BUILDING FOOTPRINTS, SEE ARCHITECTURAL ELEVATIONS AND CIVIL PLANS

GENERAL FIRE SPRINKLER NOTES

1. SUBMIT ALL SHOP DRAWINGS TO LOCAL AUTHORITY HAVING JURISDICTION AND RECEIVE APPROVAL PRIOR TO STARTING CONSTRUCTION. SEE CODE REVIEW 907.1 & 907.2.

2. COORDINATE ALL PIPING WITH OTHER TRADES



KEYED NOTES ①

1. CARTER DRIVE STREET SECTION WITH ASPHALT PAVEMENT, CONCRETE ROLL OVER CURB, GUTTER AND SIDEWALK, TO BE CONSTRUCTED WITH PUBLIC IMPROVEMENT PLAN SET.
2. PROPOSED PRIVATE STREET SECTION WITH ASPHALT PAVEMENT, CONCRETE ROLL OVER CURB, GUTTER AND SIDEWALK.
3. CARTER DRIVE WILL LOOP ALL OF THE WAY THROUGH THE SITE, FROM BOTH ENDS OF MCCONNELL DRIVE.

Please delete all curve labels or add curve table to plans.

A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:
LYONS VALLEY TOWNHOMES

LYONS, COLORADO

SITE PLAN SUBMISSION:
01/31/20

OVERALL
SITE
PLAN

PRINT DATE: Jan. 31, 2020

edinc Job #: 18.121

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INFORMATION BEING PRESENTED.

C1.01



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SCOTT, COX &
ASSOCIATES, INC.
consulting engineers
surveyors
1530 5th Street
Boulder, Colorado 80303
(303) 444-3051



KEYED NOTES ①

1. CARTER DRIVE UTILITY IMPROVEMENTS WITH SEWER, WATER AND STORM SEWER MAINS. TO BE CONSTRUCTED WITH PUBLIC IMPROVEMENT PLAN SET. CONNECT EXISTING SEWER AND WATER STUBS IN CARTER DRIVE. EXTEND UTILITIES ALONG CARTER DRIVE AND CONNECT TO BOTH ENDS AT MCCONNELL DRIVE.
2. PROPOSED 8" PVC SANITARY SEWER MAIN.
3. PROPOSED 8" PVC WATER MAIN.
4. PROPOSED STORM SEWER.
5. PROPOSED UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS.
6. PROPOSED ELECTRICAL TRANSFORMER.

Please delete all curve labels or add curve table to plans.

Please mask all text (typical).

A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:

LYONS VALLEY TOWNHOMES

LYONS, COLORADO

SITE PLAN SUBMISSION:
01/31/20

OVERALL
UTILITY
PLAN

PRINT DATE: Jan. 31, 2020

edinc Job #: 18.121

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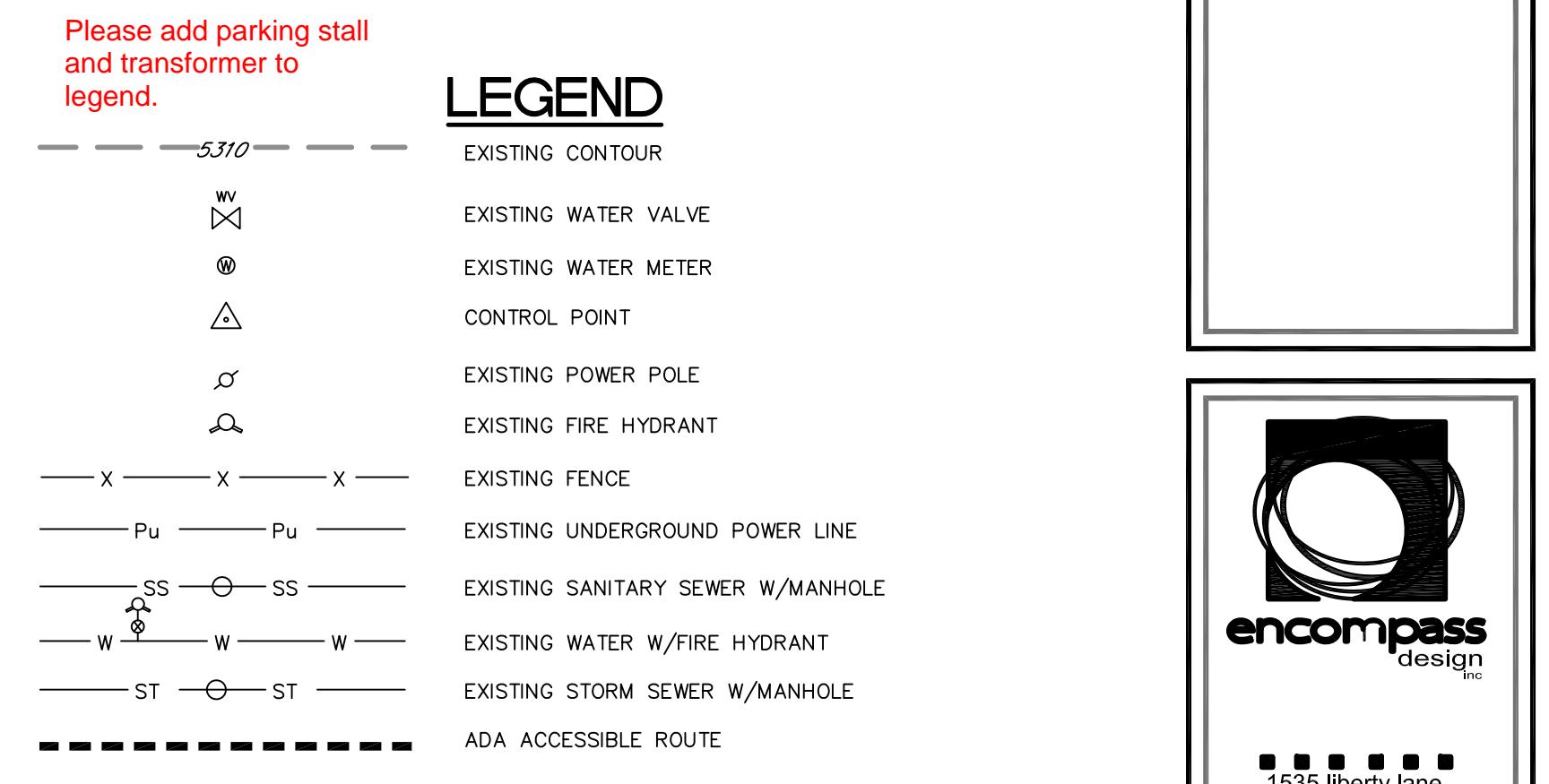
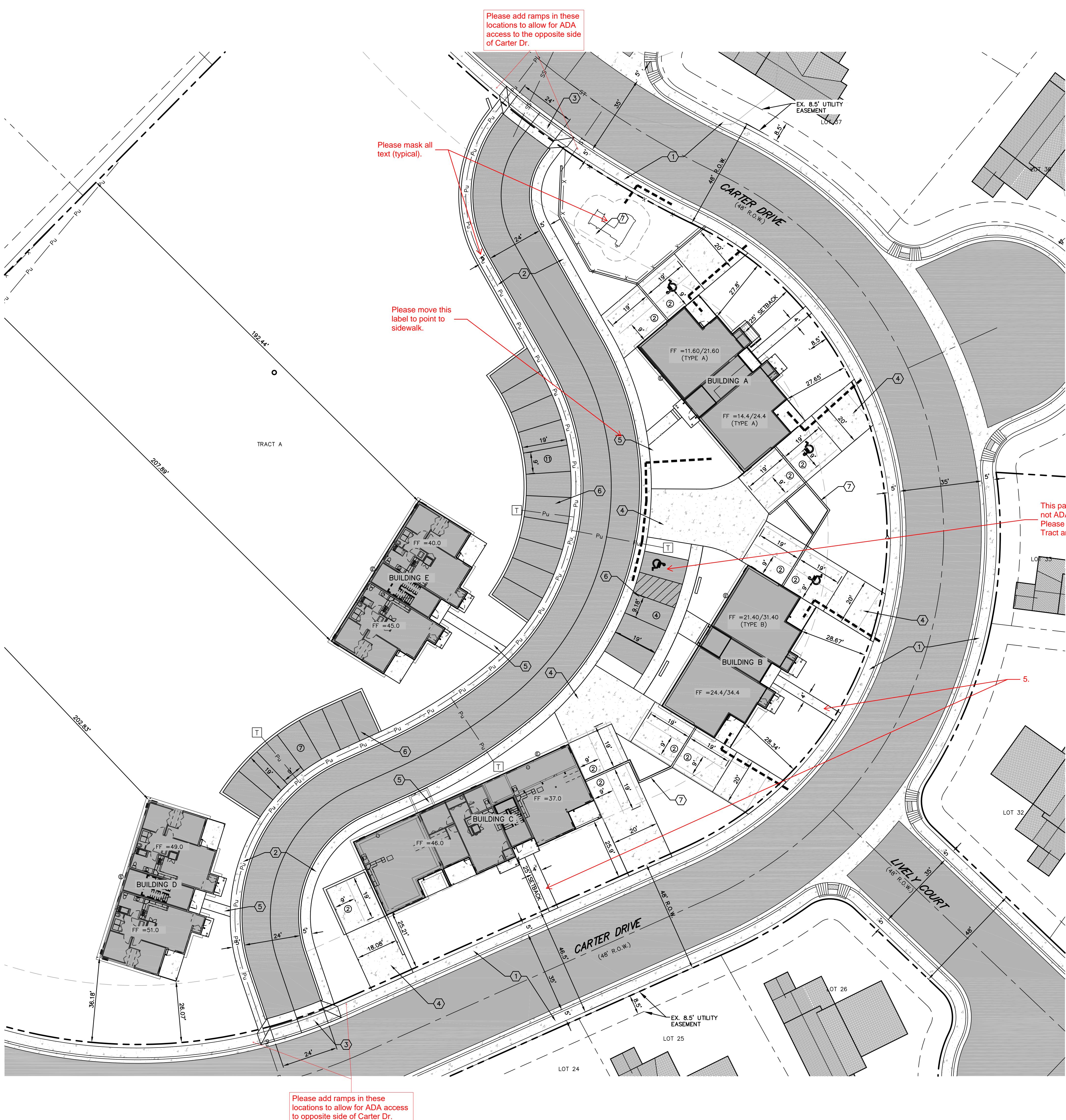
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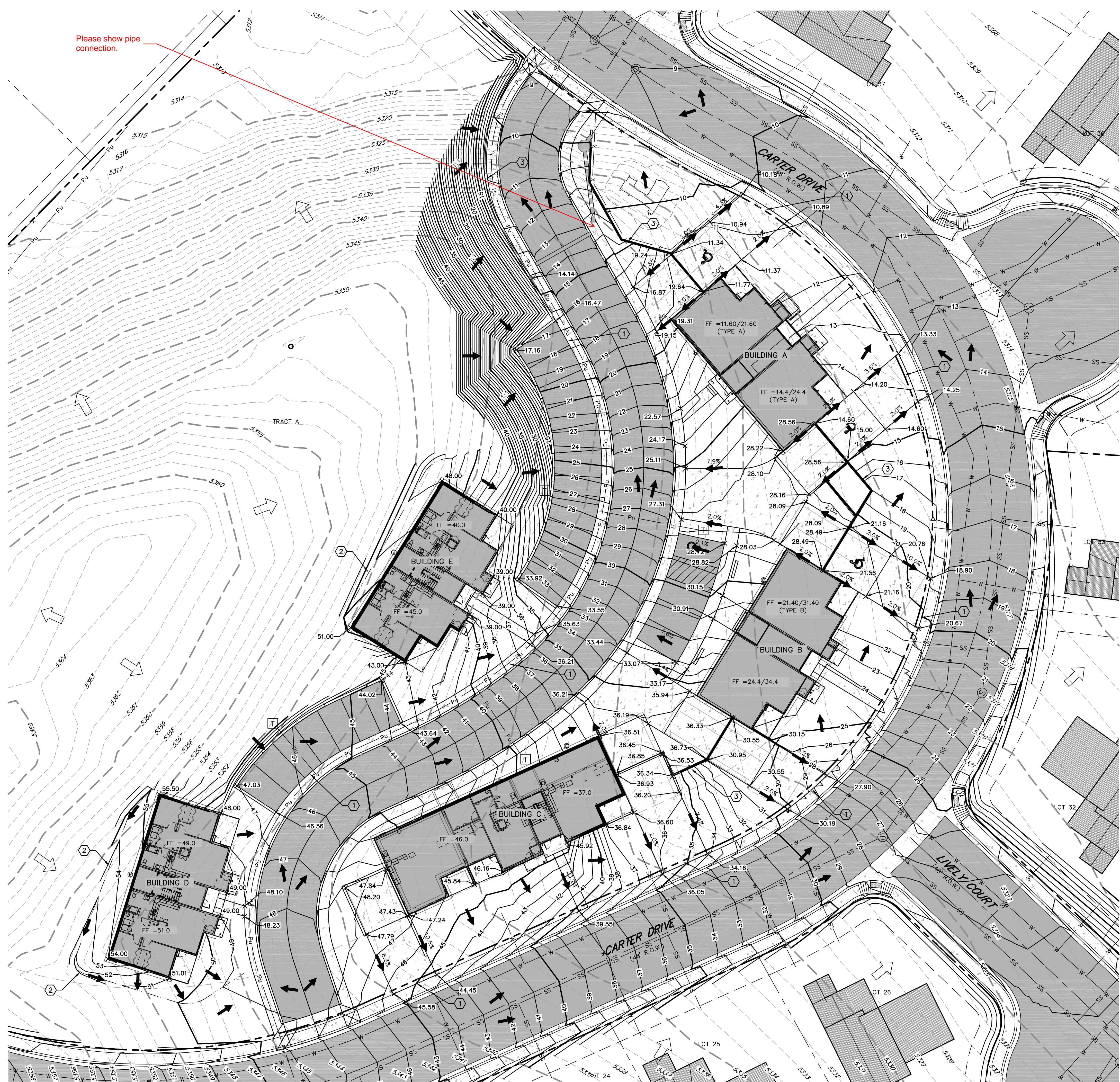


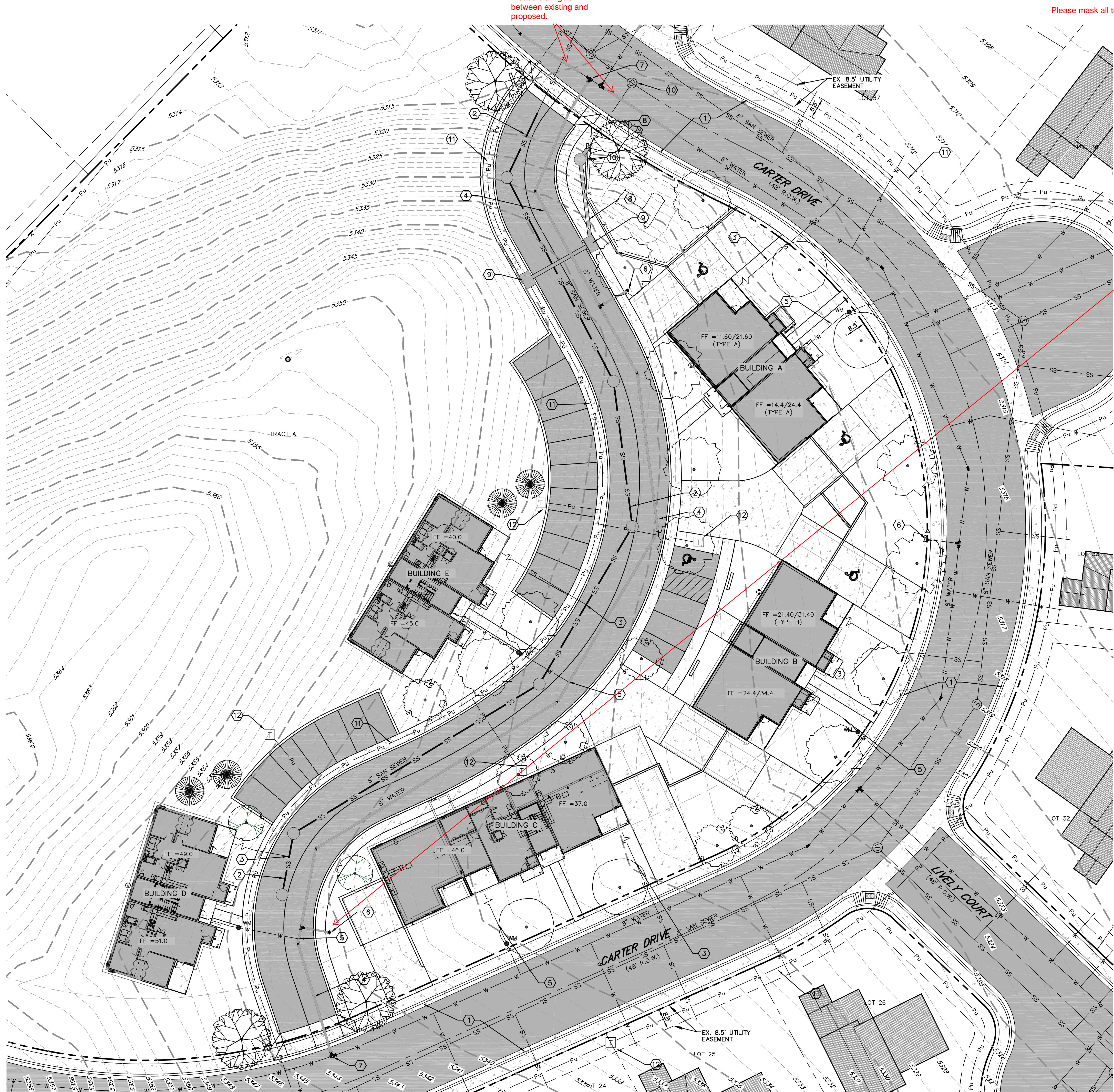
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1530 5th Street
Boulder, Colorado 80303
(303) 444-3051



A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:

LYONS, COLORADO





LEGEND	
5310	EXISTING CONTOUR
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
CP	CONTROL POINT
EP	EXISTING POWER POLE
EF	EXISTING FIRE HYDRANT
EF	EXISTING FENCE
Pu	EXISTING UNDERGROUND POWER LINE
SS	EXISTING SANITARY SEWER W/MANHOLE
W	EXISTING WATER W/FIRE HYDRANT
ST	EXISTING STORM SEWER W/MANHOLE
SS	PROPOSED SANITARY SEWER W/MANHOLE
W	PROPOSED WATER W/FIRE HYDRANT
ST	PROPOSED STORM SEWER W/MANHOLE
W	PROPOSED WATER VALVE
WM	PROPOSED WATER METER
Pu	PROPOSED UNDERGROUND POWER
T	PROPOSED TRANSFORMER

KEYED NOTES ①

1. CARTER DRIVE UTILITY IMPROVEMENTS WITH SEWER, WATER AND STORM SEWER MAINS, TO BE CONSTRUCTED WITH PUBLIC IMPROVEMENT PLAN SET. CONNECT TO EXISTING SEWER AND WATER STUBS IN CARTER DRIVE.
2. PROPOSED 8" PVC SANITARY SEWER MAIN.
3. PROPOSED 4" PVC SANITARY SEWER SERVICE.
4. PROPOSED 8" PVC WATER MAIN.
5. PROPOSED 1" DOMESTIC WATER SERVICE, METER AND METER PIT. CONNECT EXISTING 1" DOMESTIC WATER STUB.
6. PROPOSED FIRE HYDRANT.
7. CONNECT TO MAIN WITH 8" X 8" TEE AND TWO (2) 8" GATE VALVES.
8. PROPOSED STORM SEWER.
9. PROPOSED 5' TYPE R STORM INLET.
10. PROPOSED 4' DIAMETER STORM MANHOLE.
11. PROPOSED UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS.
12. PROPOSED ELECTRICAL TRANSFORMER.

UTILITY NOTES

1. ALL TOWN UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS.
2. WATER, FIRELINE, SEWER TAPS, AND SERVICE LINE SIZES SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
3. ALL NEW WATER AND SANITARY SEWER SERVICE TAPS TO EXISTING MAINS SHALL BE MADE BY BUILDING CREWS AT THE DEVELOPER'S EXPENSE.
4. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN A WAY SO AS TO MINIMIZE DISRUPTION IN SERVICE TO EXISTING USERS.
5. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY SCOTT, COX & ASSOCIATES, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SITE SURVEY AND INFORMATION PROVIDED BY OTHER SOURCES, WHICH INCLUDES TOWN OWNED UTILITIES (LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
6. ORIGIN BENCH MARK, NGS POINT 7, PID LLO639. FOUND BRASS CAP SET IN THE TOP OF THE SOUTHEAST END OF THE WINGWALL OF A HEADGATE OF AN IRRIGATION CANAL. ELEVATION= 5308.61' NAVD88. SITE BENCH MARK AS SHOWN. SITE BENCH MARK AS SHOWN. CONTOURS SHOWN ARE FROM A GROUND SURVEY.

A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:
LYONS VALLEY TOWNHOMES

LYONS, COLORADO

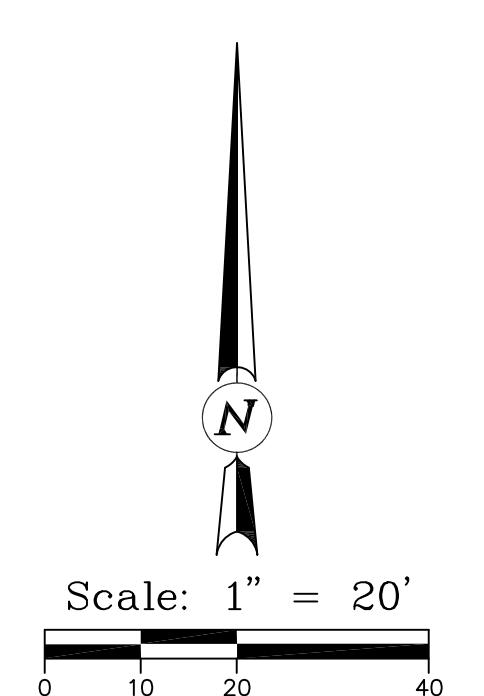
SITE PLAN SUBMISSION:
01/31/20

UTILITY PLAN

PRINT DATE: Jan. 31, 2020

edinc Job #: 18.121

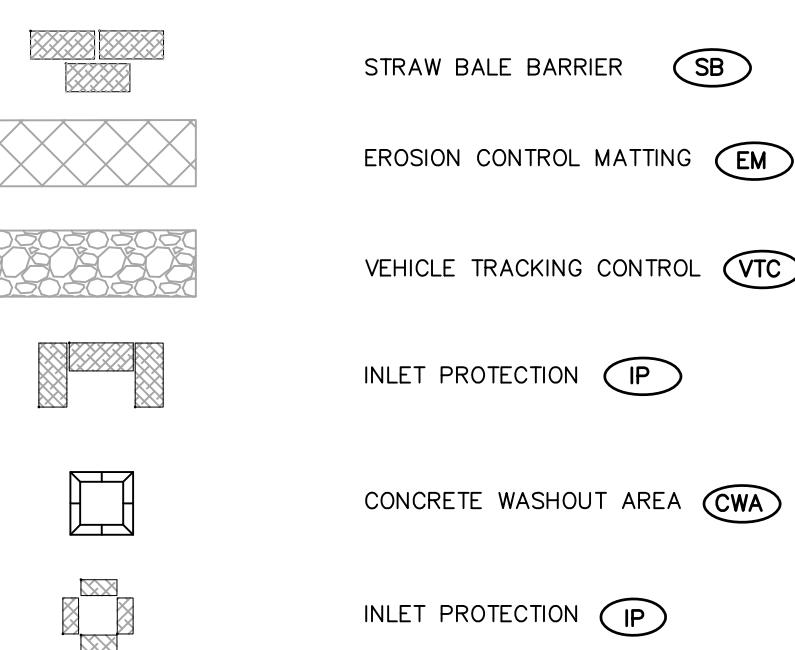
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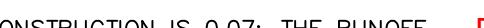


LEGEND



Please confirm lateral will not already be constructed to avoid any demolition of new pavement.

NARRATIVE SITE DESCRIPTION

1. CONSTRUCTION ACTIVITIES SHALL INCLUDE DRAINAGE FACILITIES; OVERLOT GRADING; INSTALLATION OF WATER AND SANITARY MAINS AND SERVICES, STORM AND DRY UTILITIES; PAVEMENT; BUILDING; AND LANDSCAPE CONSTRUCTION;
2. SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS: 1.)OVERLOT GRADING; 2.) INSTALLATION OF WATER AND SANITARY MAINS AND SERVICES, STORM DRAINAGE FACILITIES AND DRY UTILITIES; 3.) BUILDING CONSTRUCTION; AND 4.) CONSTRUCTION OF PARKING, DRIVES, WALKS, AND LANDSCAPING.
3. THE TOTAL PROJECT AREA IS 7.0 ACRES, OF WHICH APPROXIMATELY 100% WILL UNDERGO CONSTRUCTION ACTIVITIES.
4. THE 10-YEAR RUNOFF COEFFICIENT BEFORE CONSTRUCTION IS 0.07; THE RUNOFF COEFFICIENT AFTER CONSTRUCTION IS 0.42. 
5. THE SITE IS CURRENTLY UNDEVELOPED.
6. THERE ARE NO KNOWN POLLUTION SOURCES CURRENTLY ON THIS SITE OR PROPOSED FOR THIS PROJECT.
7. THE ONLY PROPOSED NON-STORMWATER COMPONENTS OF DISCHARGE ARE LANDSCAPE IRRIGATION RETURN FLOWS.

Please provide the corresponding calculations for the information presented here

EROSION CONTROL NOTES

1. TO THE EXTENT PRACTICABLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING ACTIVITIES. AT ALL TIMES DURING PROJECT CONSTRUCTION, ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO PREVENT ACCELERATED EROSION ON THE SITE AND ANY ADJACENT PROPERTIES.
2. ALL TOPSOIL, WHERE PHYSICALLY PRACTICABLE, SHALL BE SALVAGED AND NO TOPSOIL SHALL BE REMOVED FROM THE SITE. TOPSOIL AND OVERBURDEN SHALL BE SEGREGATED AND STOCKPILED SEPARATELY. TOPSOIL AND OVERBURDEN SHALL BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS WHICH WILL BE SEEDED AND PLANTED. RUNOFF FROM STOCKPILED AREA SHALL BE CONTROLLED TO PREVENT EROSION AND RESULTANT SEDIMENTATION OF RECEIVING WATER.
3. PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO DISTURBED AREAS AND STOCKPILES WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED WITHIN 14 DAYS TO DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.

A NEW 29 UNIT AFFORDABLE HOUSING PROJECT: LYONS VALLEY TOWNHOMES

LYONS, COLORADO

SITE PLAN SUBMISSION:
01/31/20

STORMWATER MANAGEMENT PLAN

REFERENCES

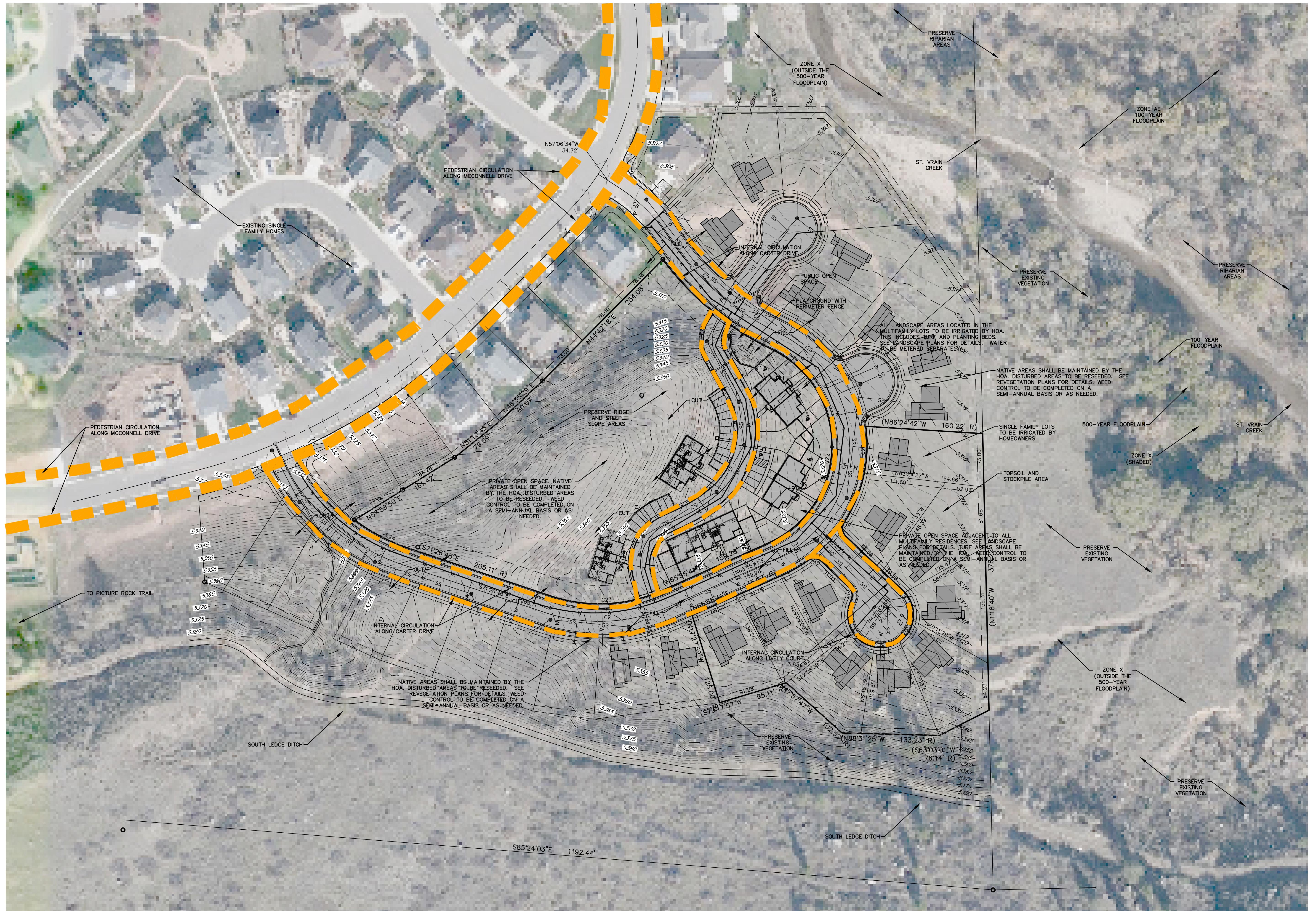
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C1.06

Scale:

Scale: 1" = 20'

C1.06



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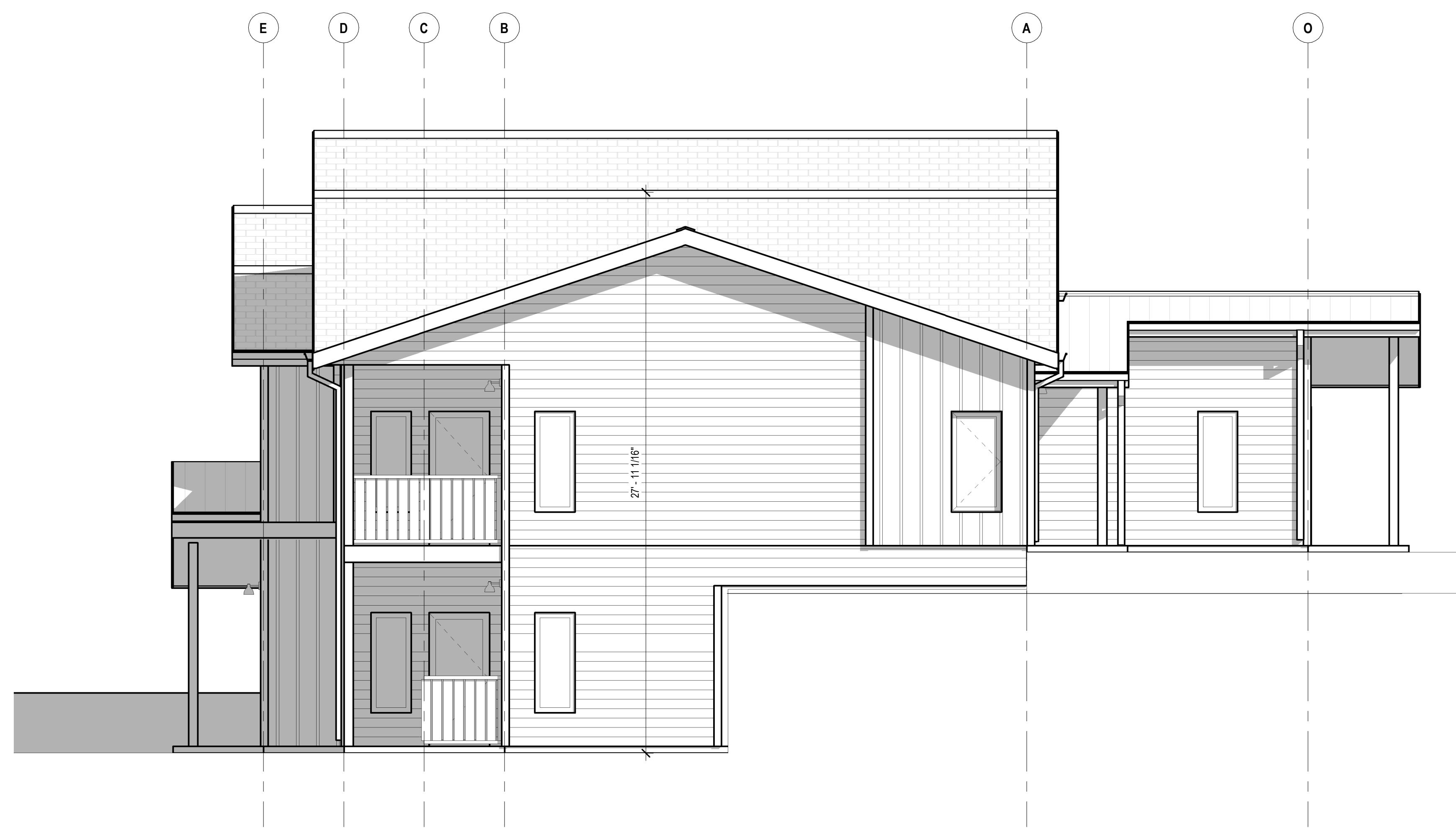
ITE PLAN SUBMISSION:
1/31/20

OPEN SPACE PLAN

INT DATE: Jan. 31, 2020

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C1.07



1 | Building A - Right Elevation

A3.1A | SCALE: 1/4" = 1'-0"



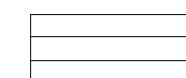
2 | Building A - Carter Dr Elevation

A3.1A | SCALE: 1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. COORDINATE EXTERIOR LIGHTING WITH ELECTRICAL DRAWINGS.
2. ALL WALL AND ROOF MECHANICAL AND PLUMBING PENETRATIONS, INCLUDING BUT NOT LIMITED TO VENT AND CAPS, SHALL BE PAINTED TO MATCH ADJACENT MATERIAL.
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5. ALL DOWNSPOUTS REQUIRE A CONCRETE PAN BELOW SLOPED TO DIVERT RUNOFF AWAY FROM THE FOUNDATION.
6. APPLY 1 COAT MASONRY SEALER TO EXPOSED CONCRETE WALLS.
7. ALL EXPOSED WOOD TO BE STAINED, COORDINATE COLOR WITH ARCHITECT.

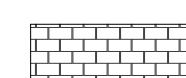
ELEVATION MATERIAL KEY NOTES



FIBER CEMENT 6" HORIZONTAL LAP SIDING



BOARD & BATTEN



ASPHALT SHINGLES



METAL ROOF

BUILDING HEIGHT

REAR: 20'-11"
RIGHT: 27'-11"
CARTER DR: 27'-10"
LEFT: 27'-11"
AVERAGE: 26'-1"

BUILDING STATISTICS

1. BUILDING FOOTPRINT: 2833 SF
2. ROOF OVERHANGS: 1' - 6"

Lyons Valley Townhomes

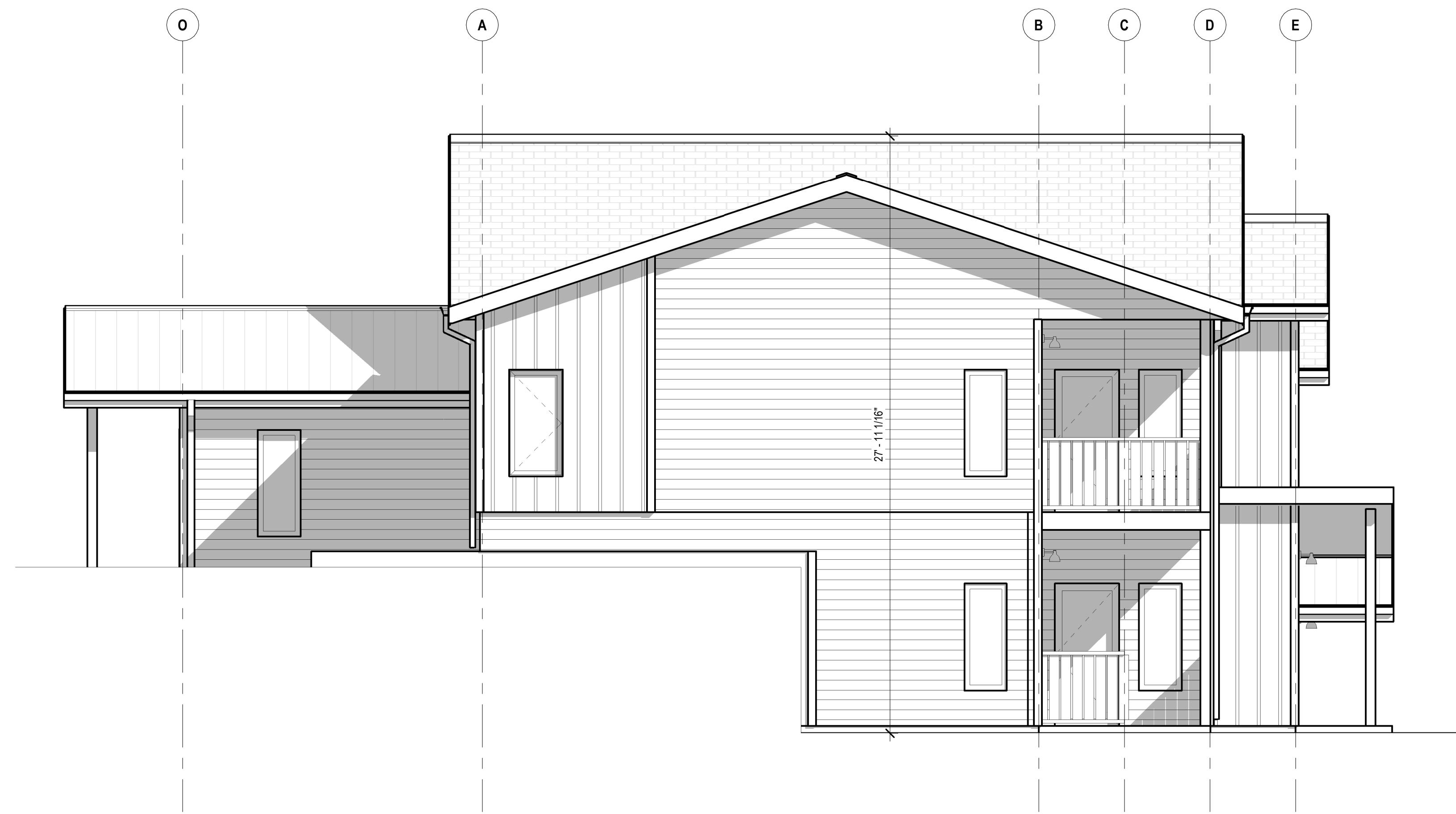
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BUILDING ELEVATIONS

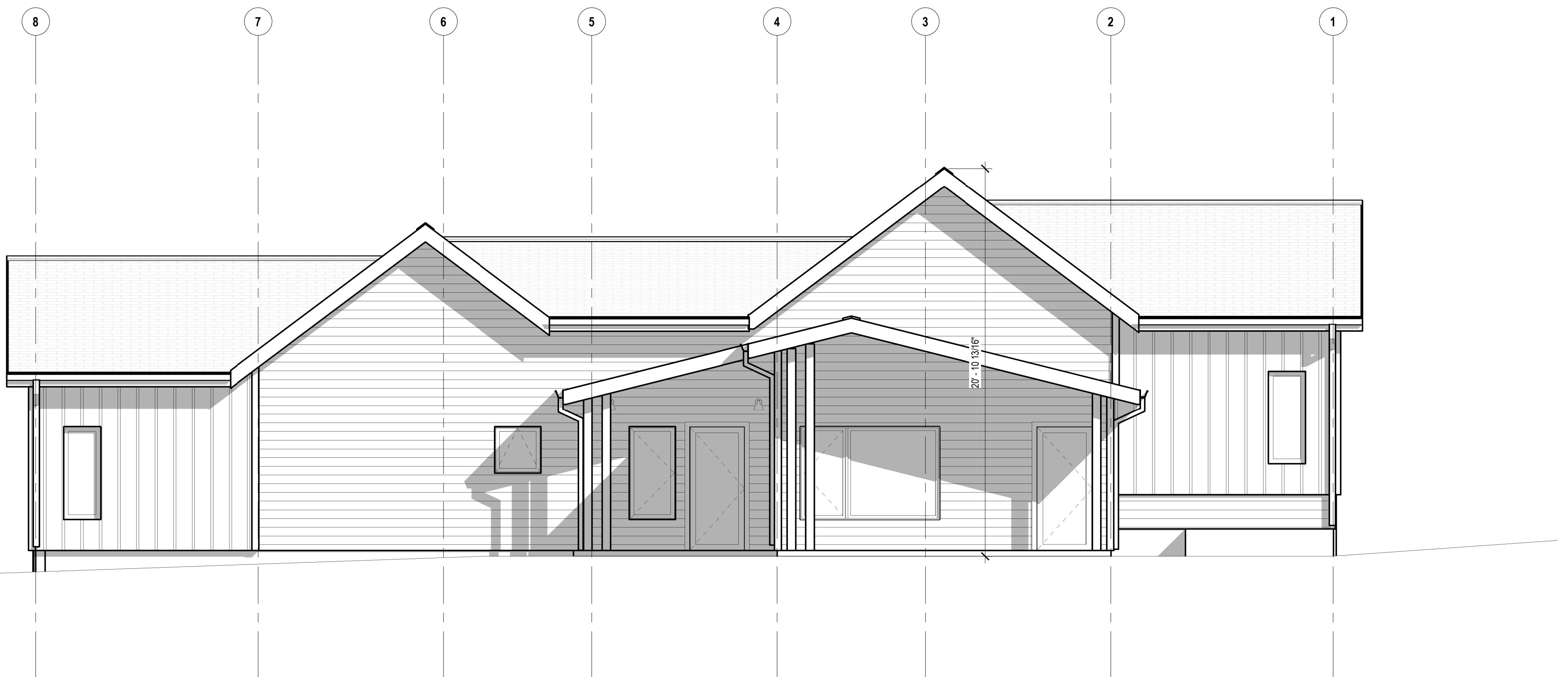
EDI Job #: 18.121

A3.1A



1 | Building A - Left Elevation

A3.2A | SCALE: 1/4" = 1'-0"



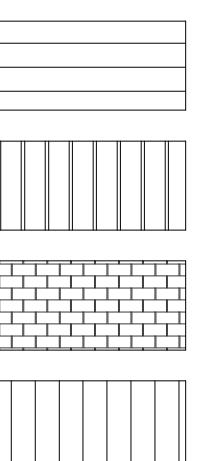
2 | Building A - Rear Elevation

A3.2A | SCALE: 1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

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ELEVATION MATERIAL KEY NOTES



FIBER CEMENT 6" HORIZONTAL LAP SIDING
BOARD & BATTEN
ASPHALT SHINGLES
METAL ROOF

BUILDING HEIGHT

REAR: 20'-11"
RIGHT: 27'-11"
CARTER DR: 27'-10"
LEFT: 27'-11"
AVERAGE: 26'-1"

BUILDING STATISTICS

1. BUILDING FOOTPRINT: 2833 SF
2. ROOF OVERHANGS: 1'-6"

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BUILDING ELEVATIONS

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A3.2A



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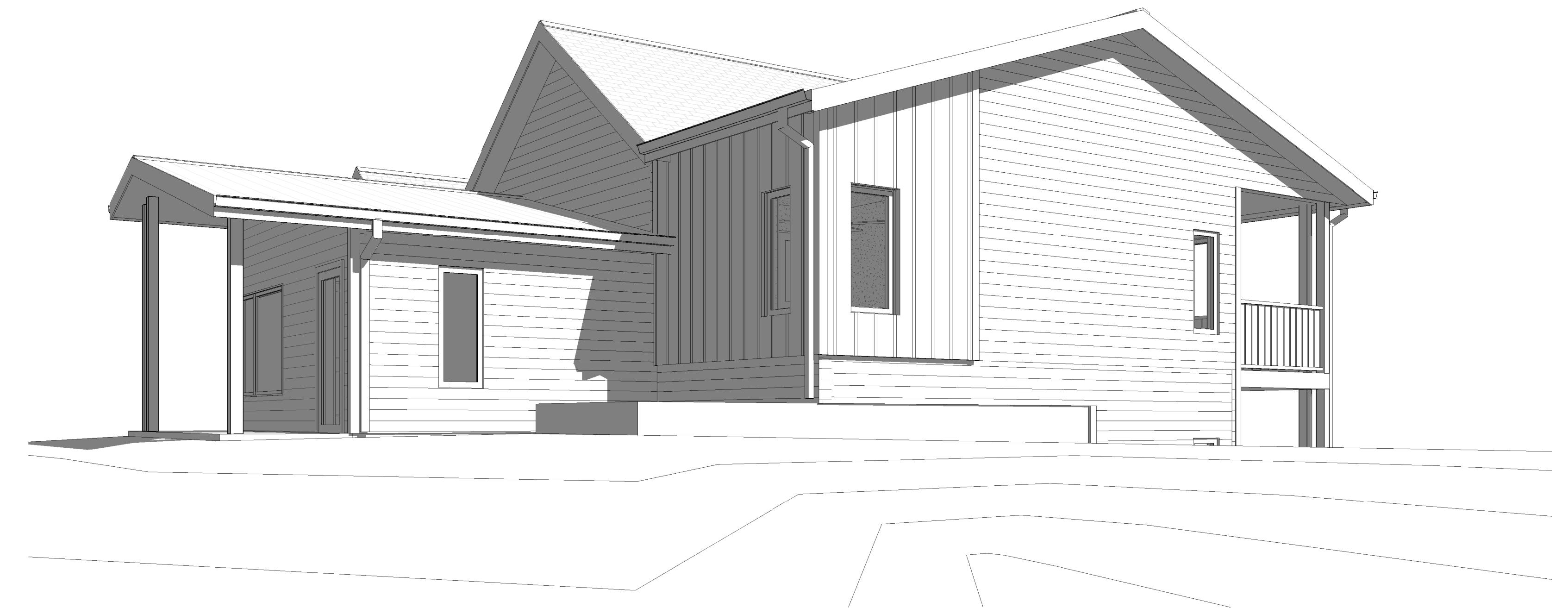
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EXTERIOR VIEWS

EDI Job #: 18.121

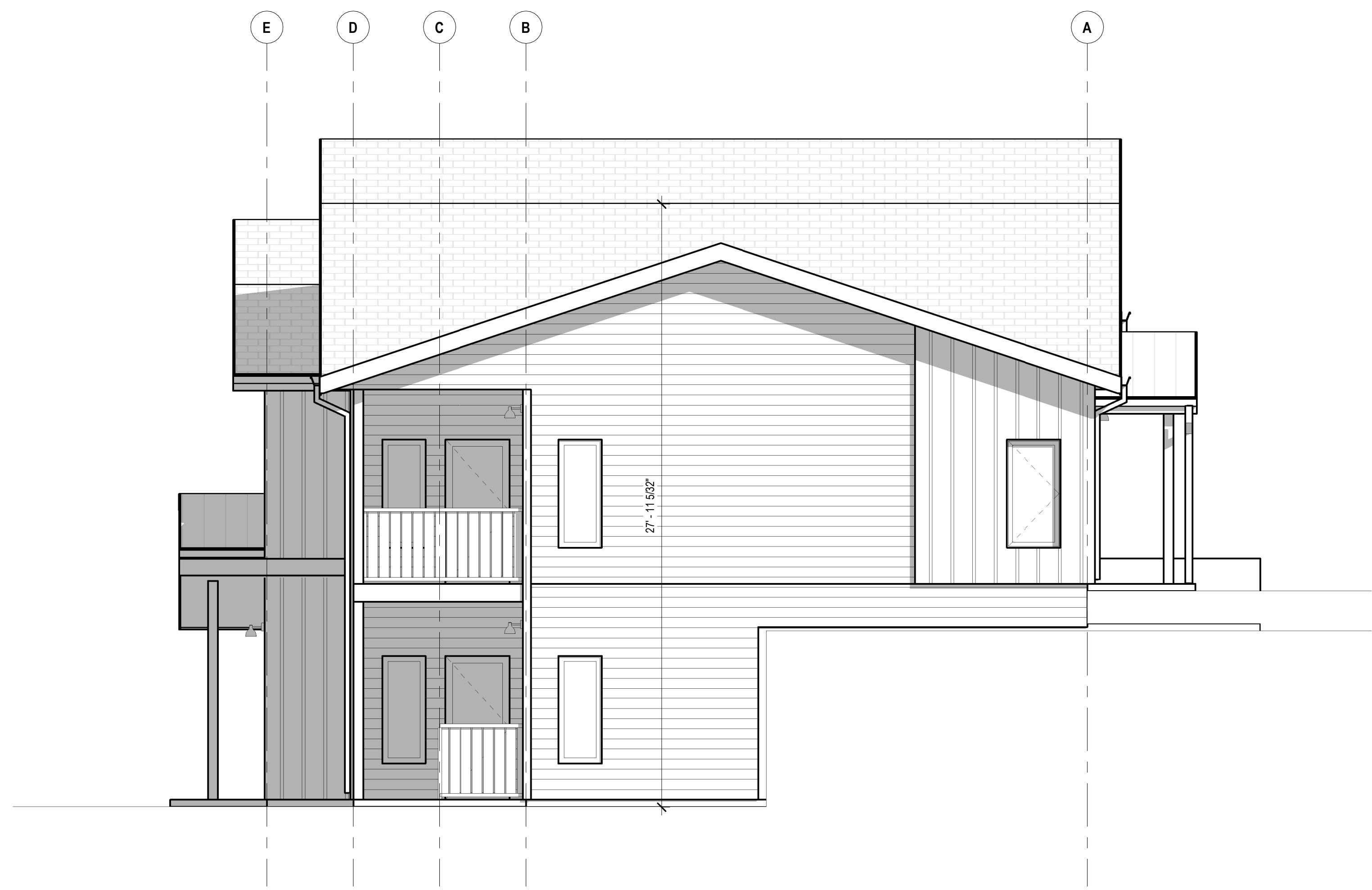
A3.3A



3 | Office in Rear
A3.3A | SCALE:



2 | Carter Drive
A3.3A | SCALE:



1 Building B - Right Elevation

A3.1B | SCALE: 1/4" = 1'-0"



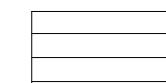
2 Building B - Carter Dr Elevation

A3.1B | SCALE: 1/4" = 1'-0"

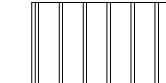
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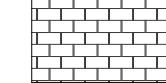
ELEVATION MATERIAL KEY NOTES



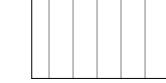
FIBER CEMENT 6" HORIZONTAL LAP SIDING



BOARD & BATTEN



ASPHALT SHINGLES



METAL ROOF

BUILDING HEIGHT

REAR: 20'-11"
RIGHT: 27'-11"
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LEFT: 27'-11"
AVERAGE: 26'-1"

BUILDING STATISTICS

1. BUILDING FOOTPRINT: 2586 SF
2. ROOF OVERHANGS: 1'-6"

Lyons Valley Townhomes

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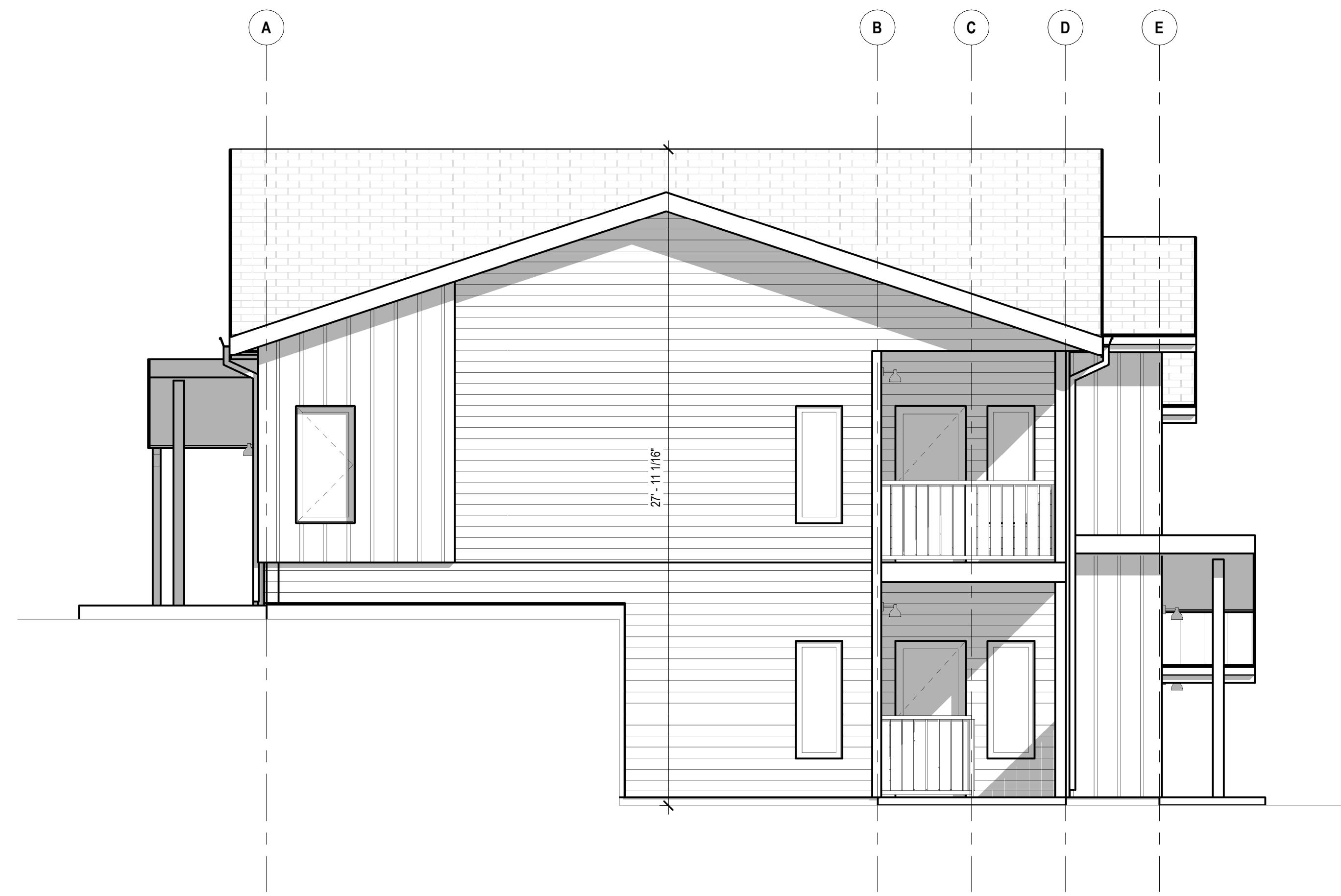
BUILDING ELEVATIONS

EDI Job #: 18.121

A3.1B

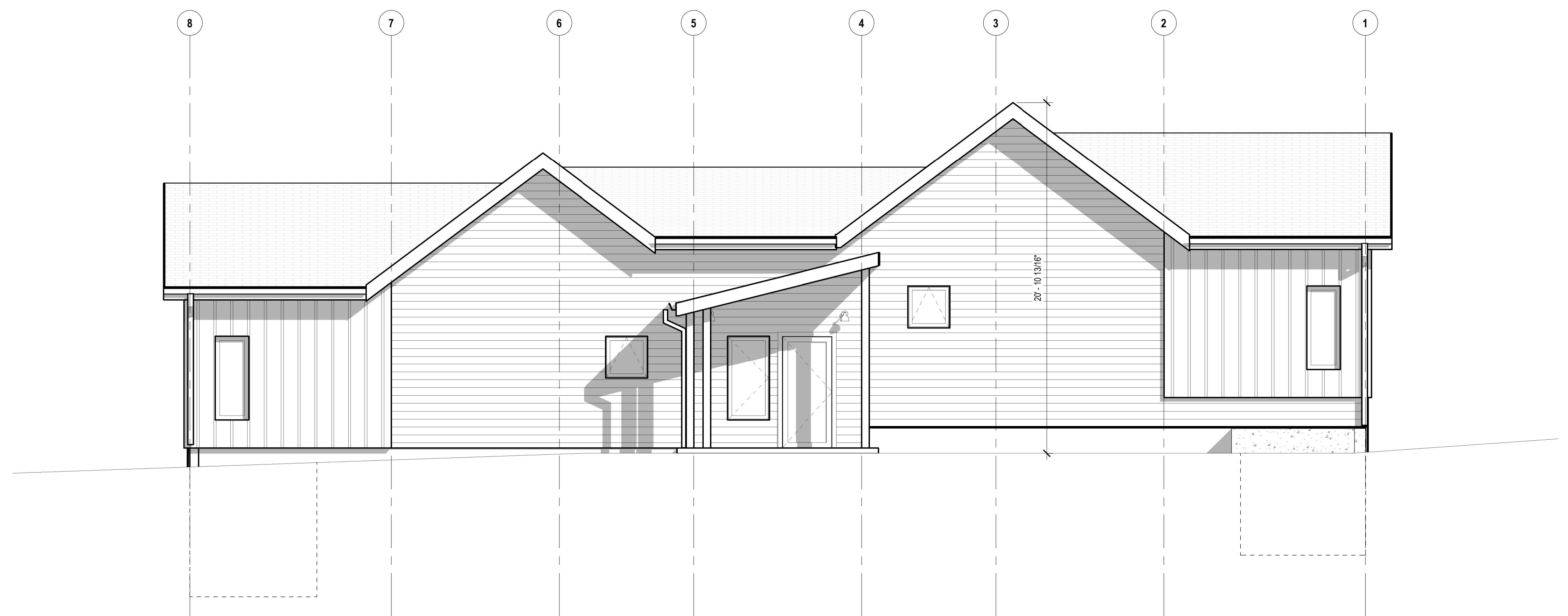
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missoula, montana 59808
Phone: 406.540.4437



1 | Building B - Left Elevation

A3.2B | SCALE: 1/4" = 1'-0"



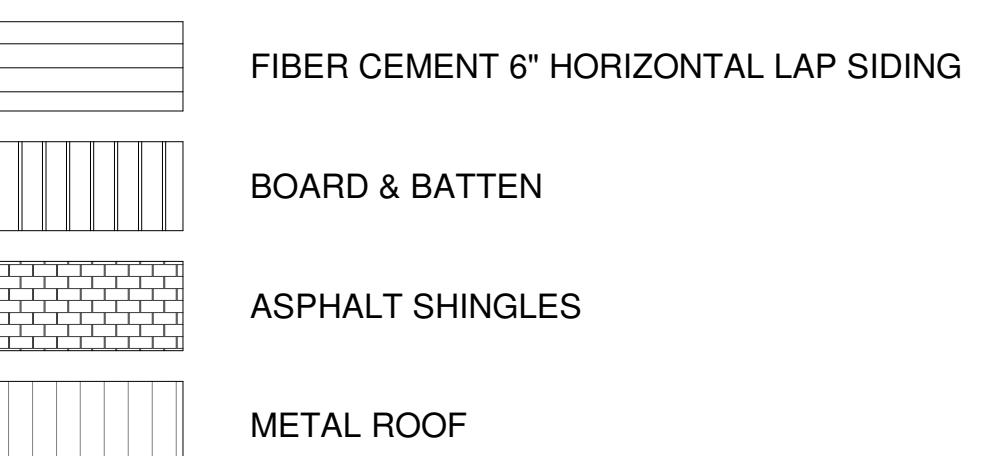
2 | Building B - Rear Elevation

A3.2B | SCALE: 1/4" = 1'-0"

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ELEVATION MATERIAL KEY NOTES



BUILDING HEIGHT

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RIGHT: 27'-11"
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AVERAGE: 26'-1"

BUILDING STATISTICS

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Lyons Valley Townhomes

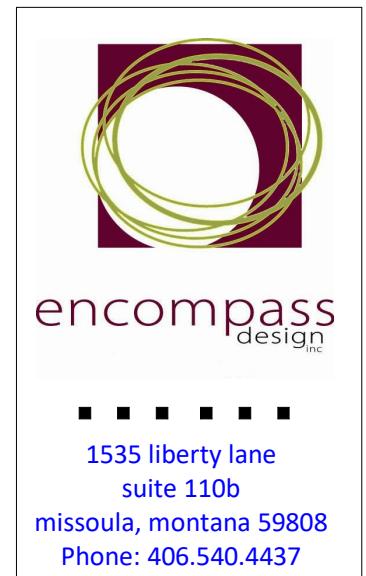
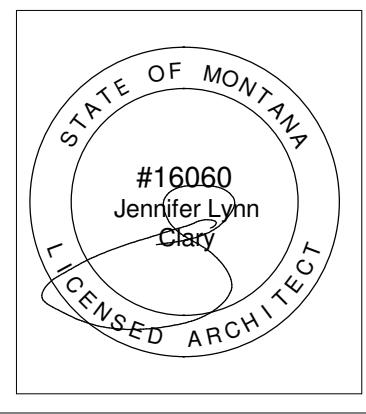
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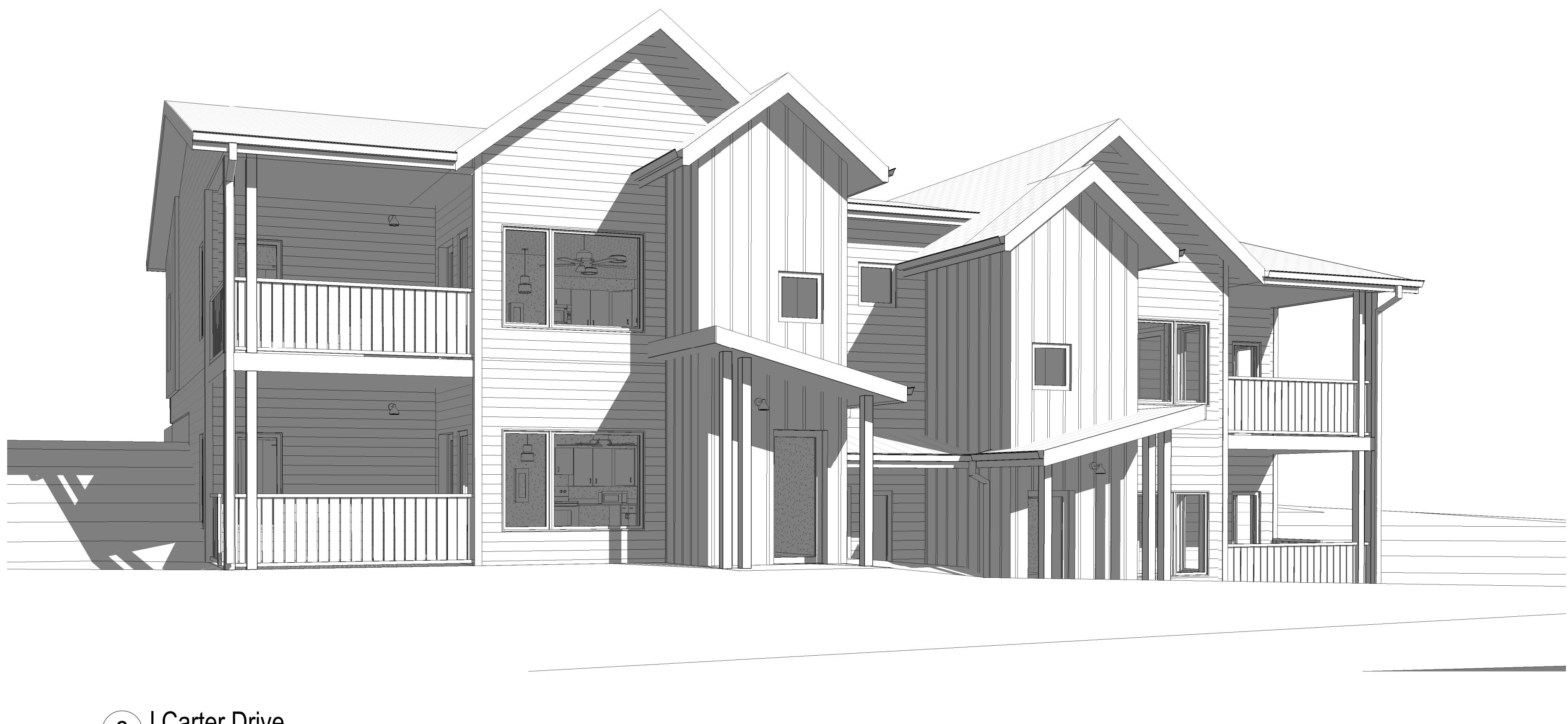
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BUILDING ELEVATIONS

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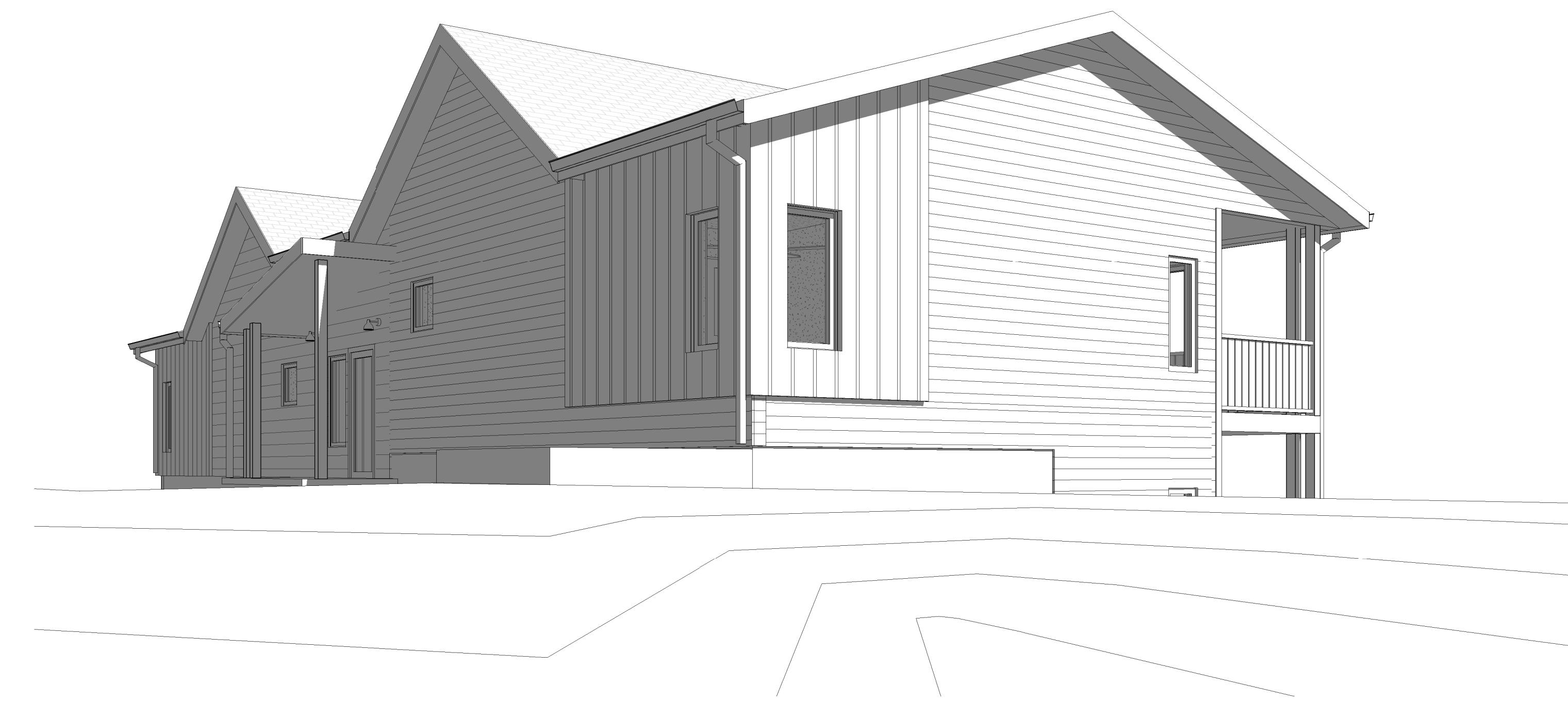
A3.2B





2 | Carter Drive

A3.3B | SCALE:



3 | Southwest Corner

A3.3B | SCALE:

Lyons Valley Townhomes

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BUILDING B

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EXTERIOR
VIEWS

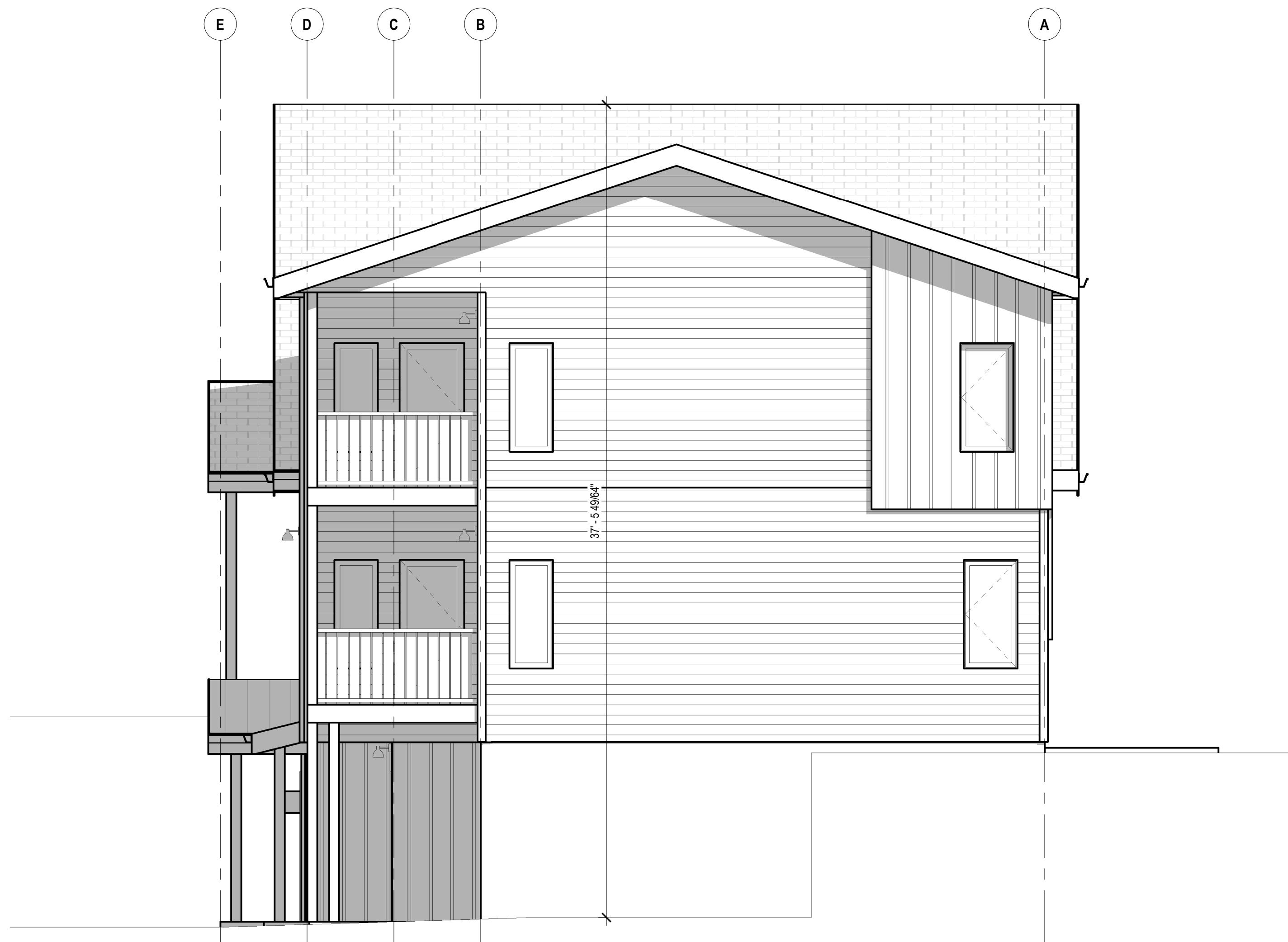
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A3.3B



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1 | Building C - Right Elevation

A3.1C | SCALE : 1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

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ELEVATION MATERIAL KEY NOTES

	FIBER CEMENT 6" HORIZONTAL LAP SIDING
	BOARD & BATTEN
	ASPHALT SHINGLES
	METAL ROOF

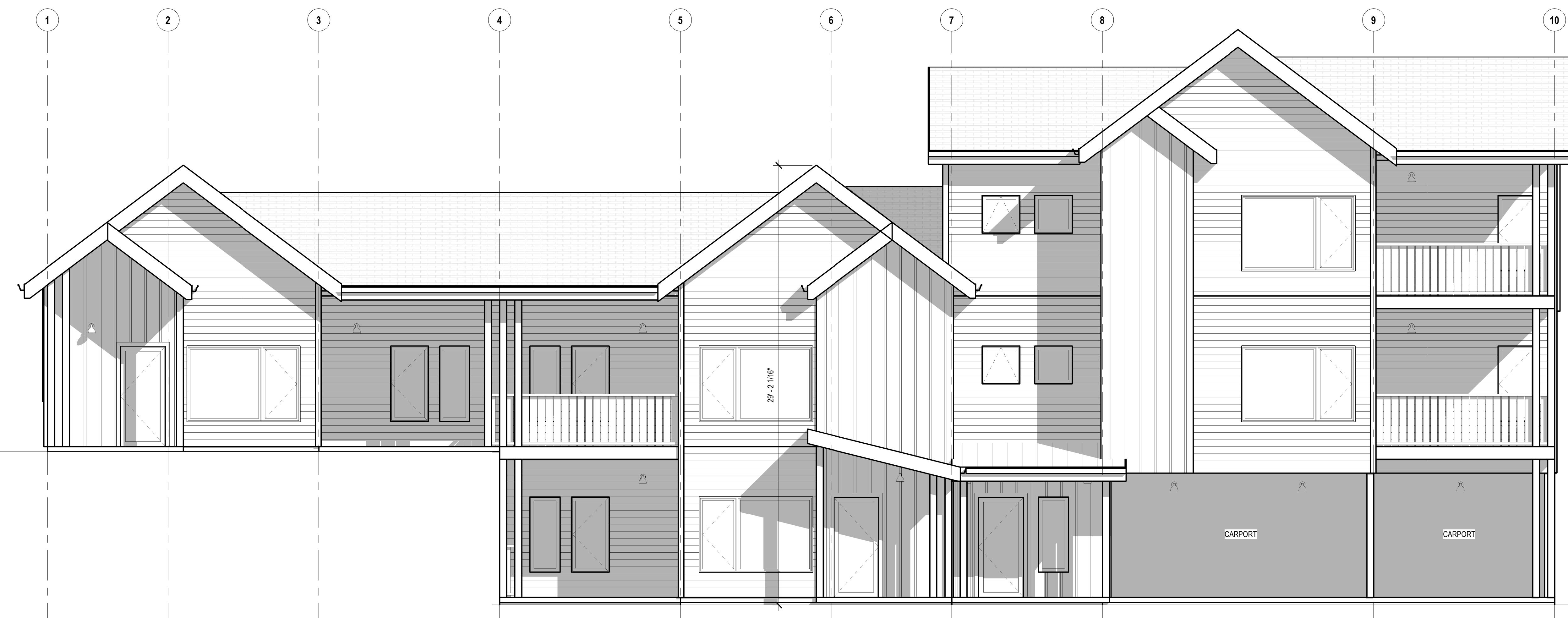
BUILDING HEIGHT

REAR: 27' - 5"
RIGHT: 37' - 6"
CARTER DR: 29' - 2"
LEFT: 19' - 1"
AVERAGE: 28' - 4"

BUILDING STATISTICS

1. BUILDING FOOTPRINT: 3483 SF
2. ROOF OVERHANGS: 1' - 6"

BUILDING C
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2 | Building C - Carter Dr Elevation

A3.1C | SCALE : 1/4" = 1'-0"

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BUILDING
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A3.1C



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BUILDING ELEVATIONS

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A3.2C

GENERAL NOTES - ELEVATIONS

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ELEVATION MATERIAL KEY NOTES

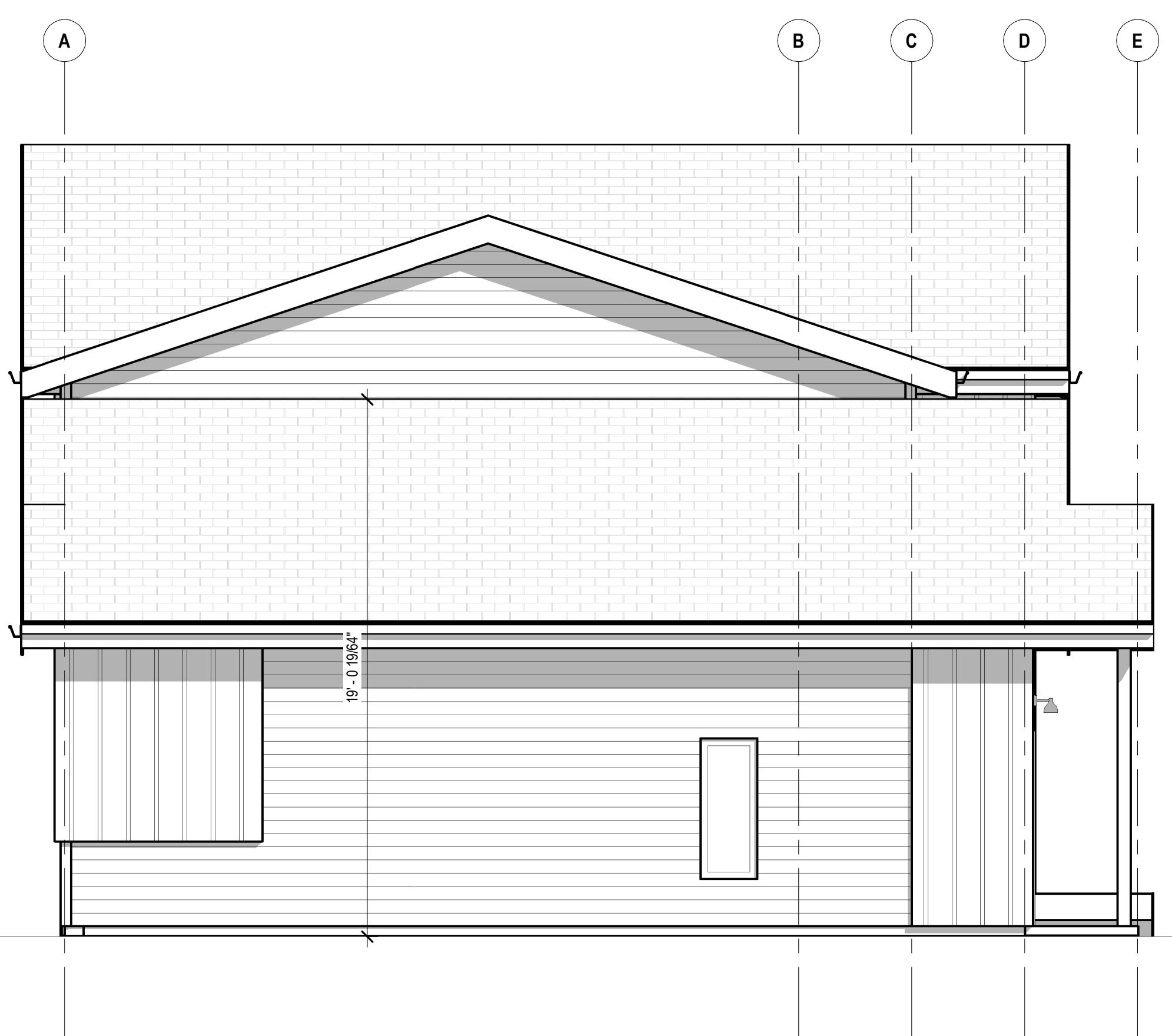
	FIBER CEMENT 6" HORIZONTAL LAP SIDING
	BOARD & BATTEN
	ASPHALT SHINGLES
	METAL ROOF

BUILDING HEIGHT

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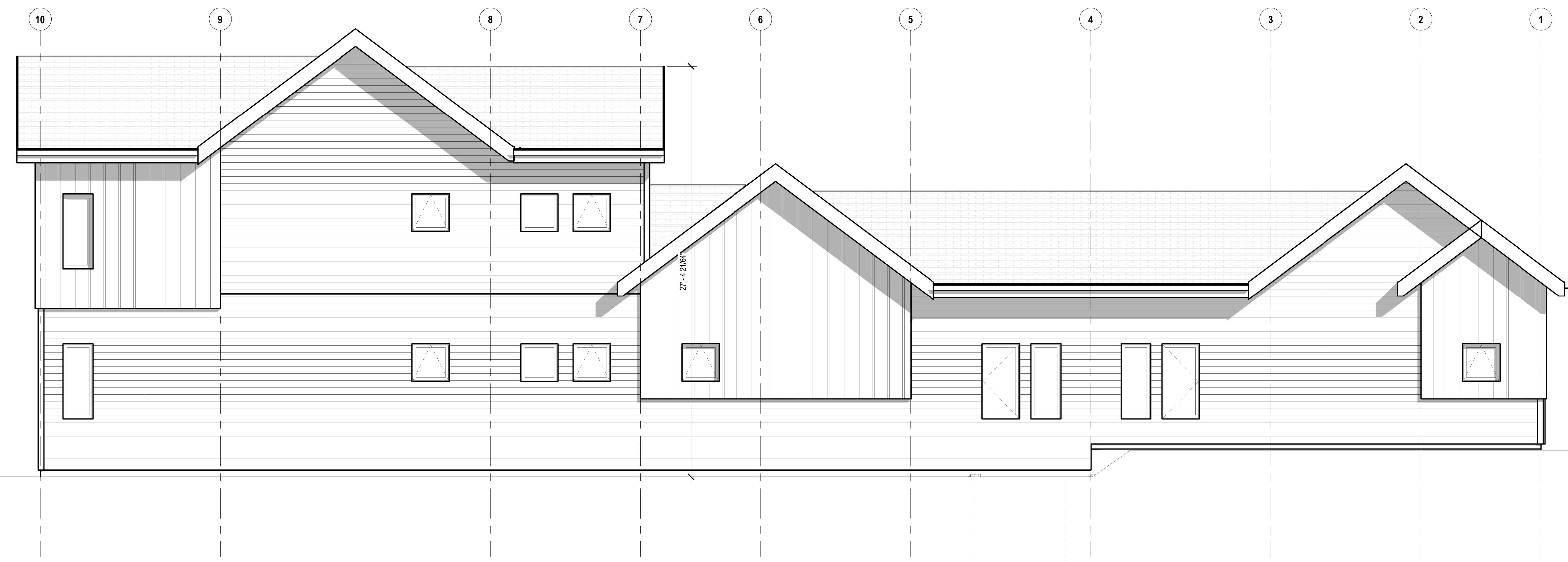
BUILDING STATISTICS

1. BUILDING FOOTPRINT: 3483 SF
2. ROOF OVERHANGS: 1' - 6"



1 | Building C - Left Elevation

A3.2C | SCALE: 1/4" = 1'-0"



2 | Building C - Rear Elevation

A3.2C | SCALE: 1/4" = 1'-0"



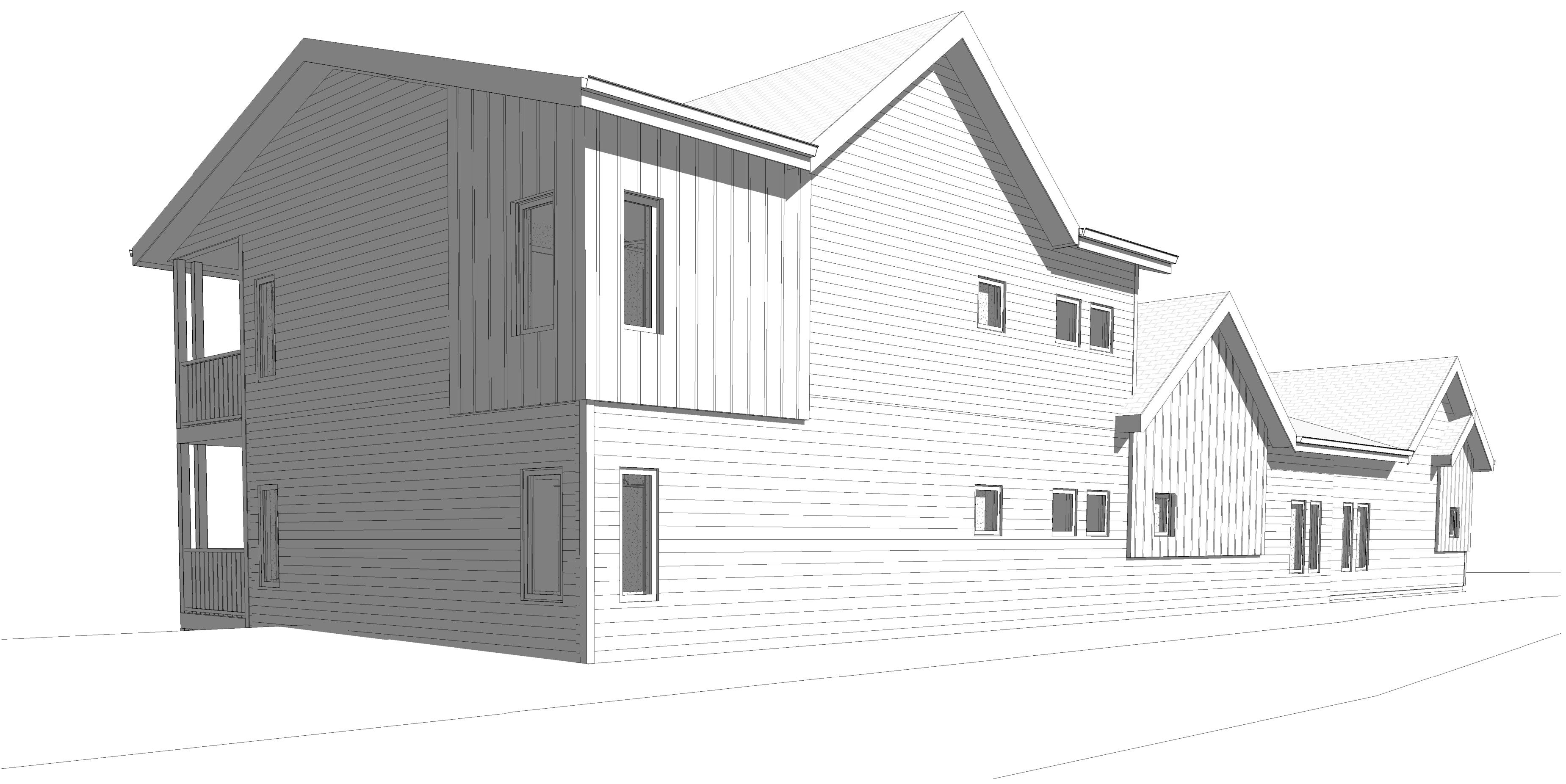
1 | Carter Drive

A3.3C | SCALE:



2 | Carter Drive from Above

A3.3C | SCALE:



3 | Northeast Corner

A3.3C | SCALE:

Lyons Valley Townhomes

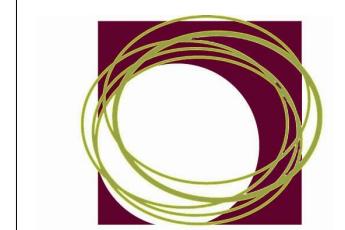
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EXTERIOR
VIEWS

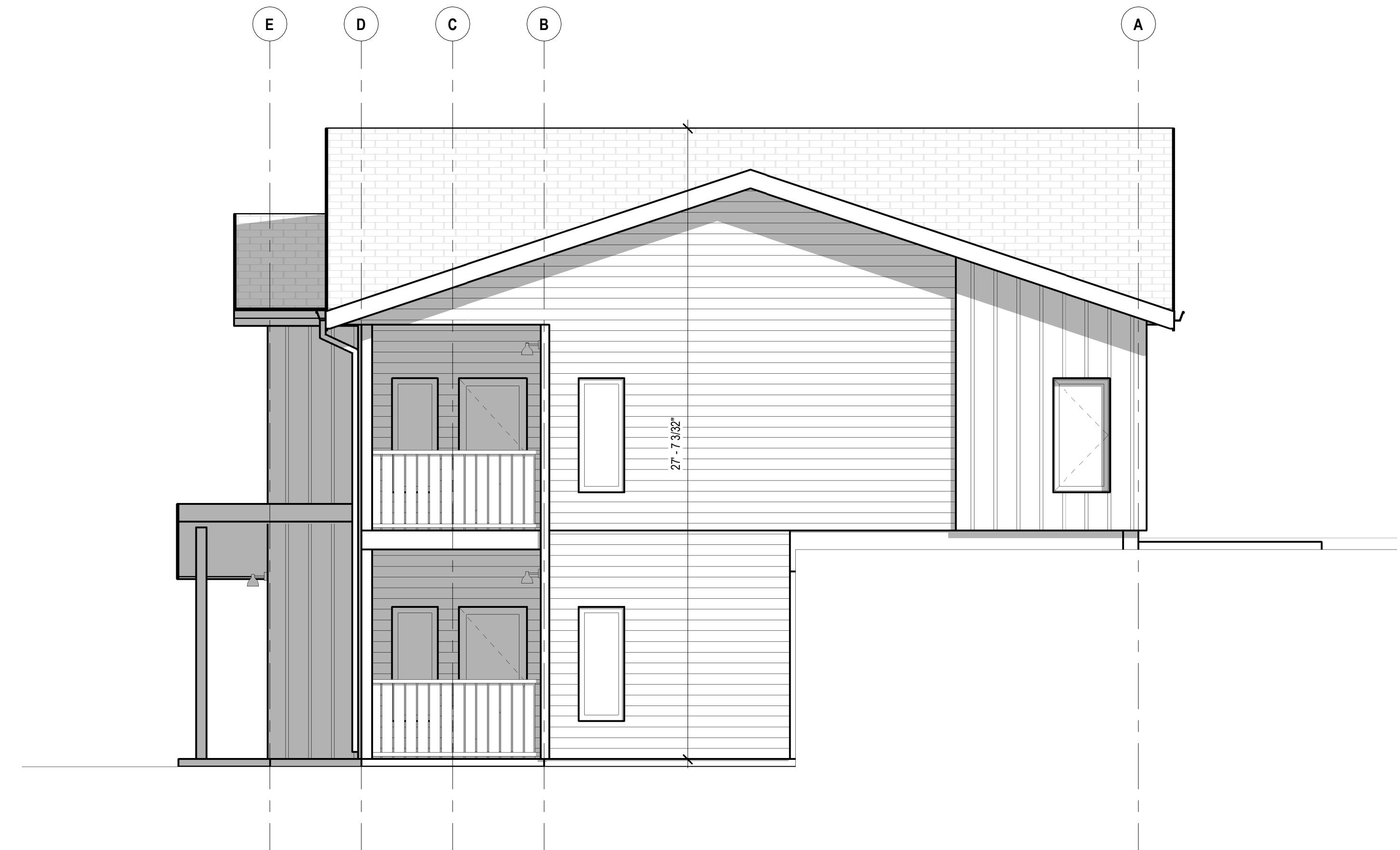
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A3.3C



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Phone: 406.540.4437



1 | Building D-E - Right Elevation

A3.1D

SCALE: 1/4" = 1'-0"



2 | Building D-E - Carter Dr Elevation

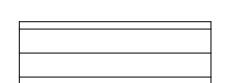
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SCALE: 1/4" = 1'-0"

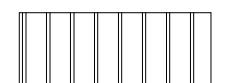
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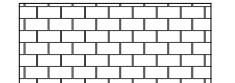
ELEVATION MATERIAL KEY NOTES



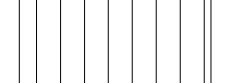
FIBER CEMENT 6" HORIZONTAL LAP SIDING



BOARD & BATTEN



ASPHALT SHINGLES



METAL ROOF

BUILDING HEIGHT

REAR: 17'-11"
RIGHT: 27'-7"
ROAD: 27'-11"
LEFT: 27'-7"
AVERAGE: 25'-3"

BUILDING STATISTICS

1. BUILDING FOOTPRINT: 2526 SF
2. ROOF OVERHANGS: 1'-6"

Lyons Valley Townhomes

LYONS, CO

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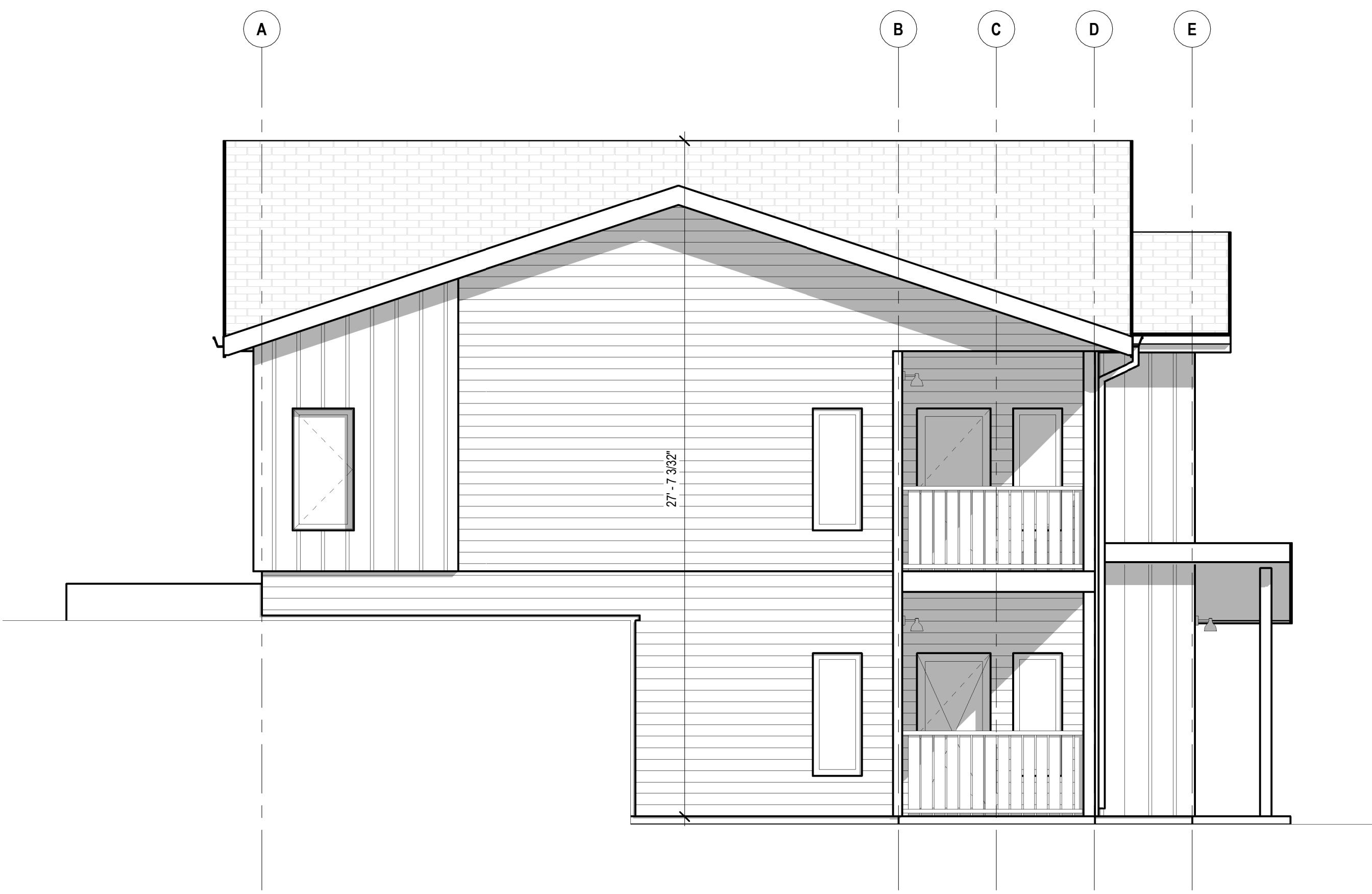
BUILDING
ELEVATIONS

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A3.1D



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missoula, montana
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1 | Building D-E - Left Elevation

A3.2D | SCALE: 1/4" = 1'-0"



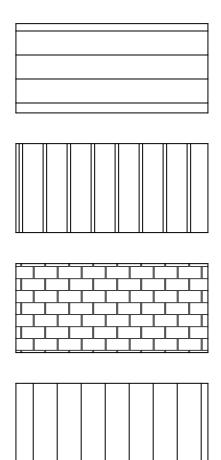
2 | Building D-E - Rear Elevation

A3.2D | SCALE: 1/4" = 1'-0"

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- FIBER CEMENT 6" HORIZONTAL LAP SIDING
- BOARD & BATTEN
- ASPHALT SHINGLES
- METAL ROOF

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Lyons Valley Townhomes

LYONS, CO

BUILDING D-E

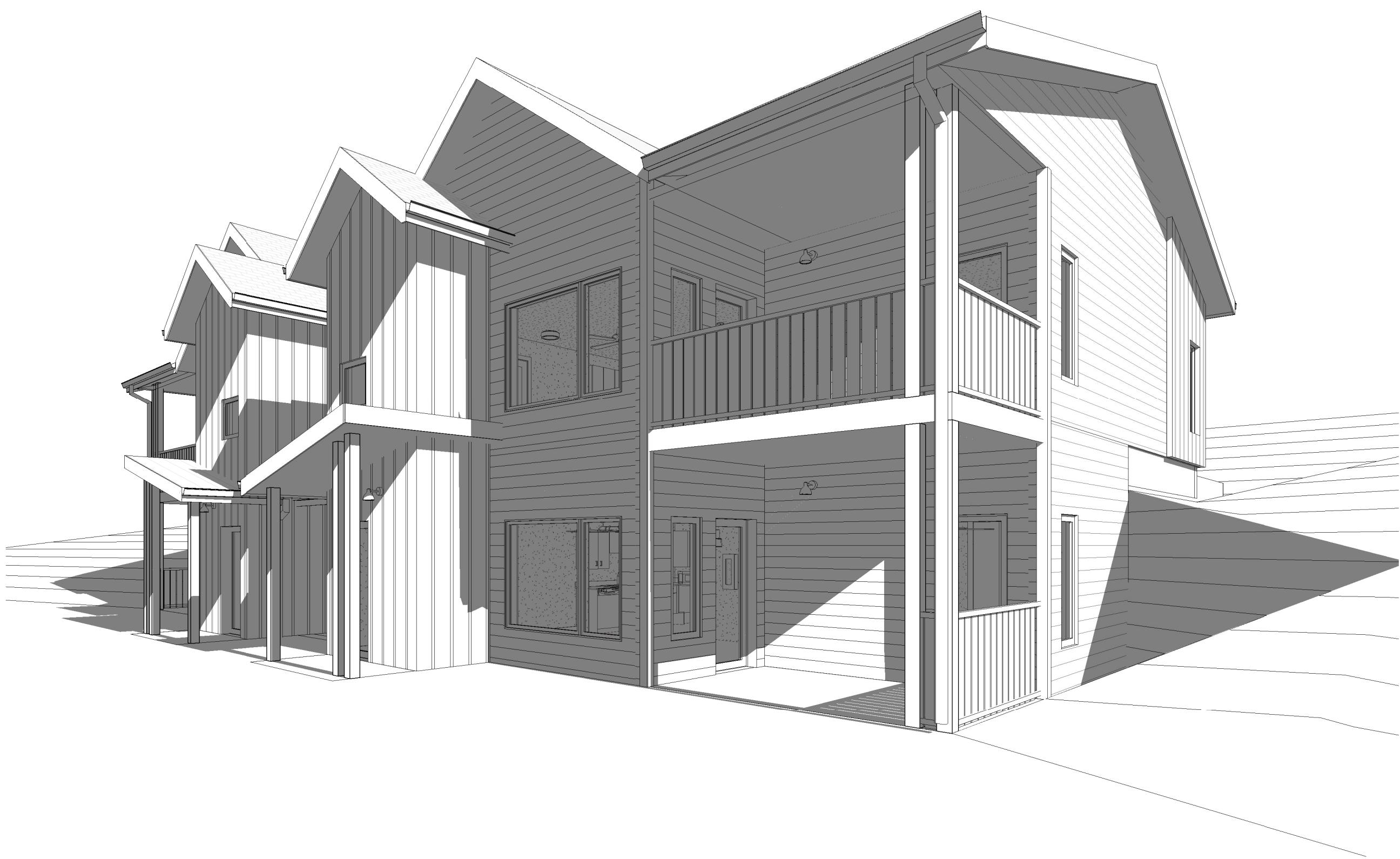
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BUILDING
ELEVATIONS

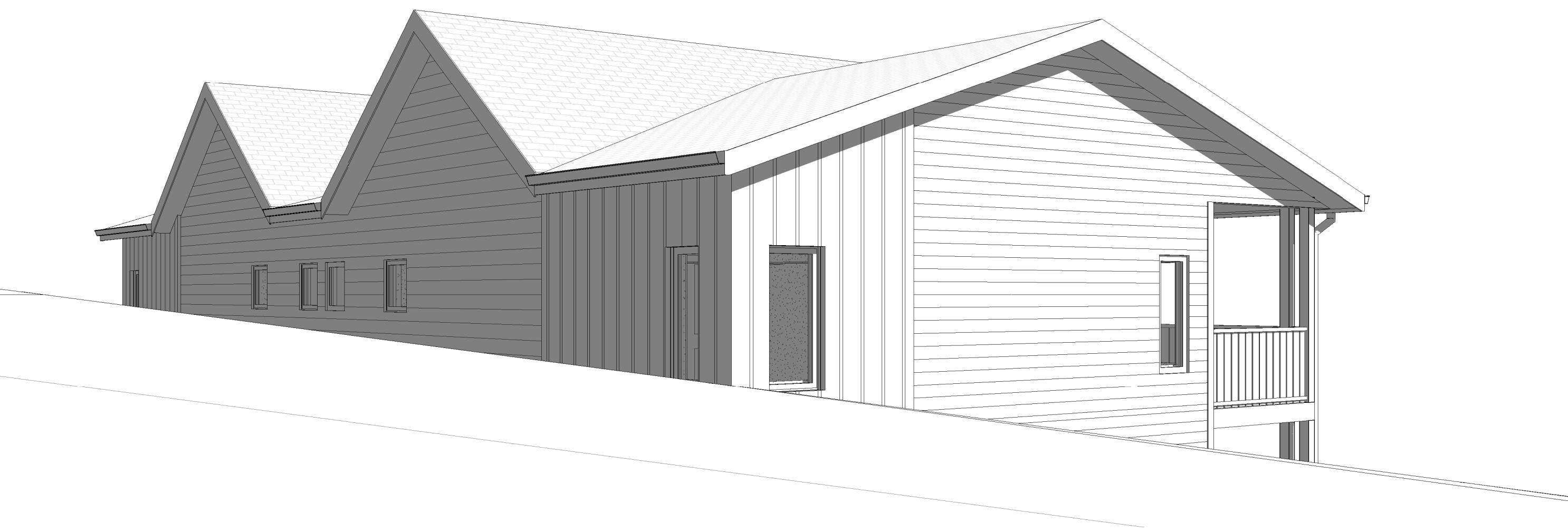
EDI Job #: 18.121

A3.2D



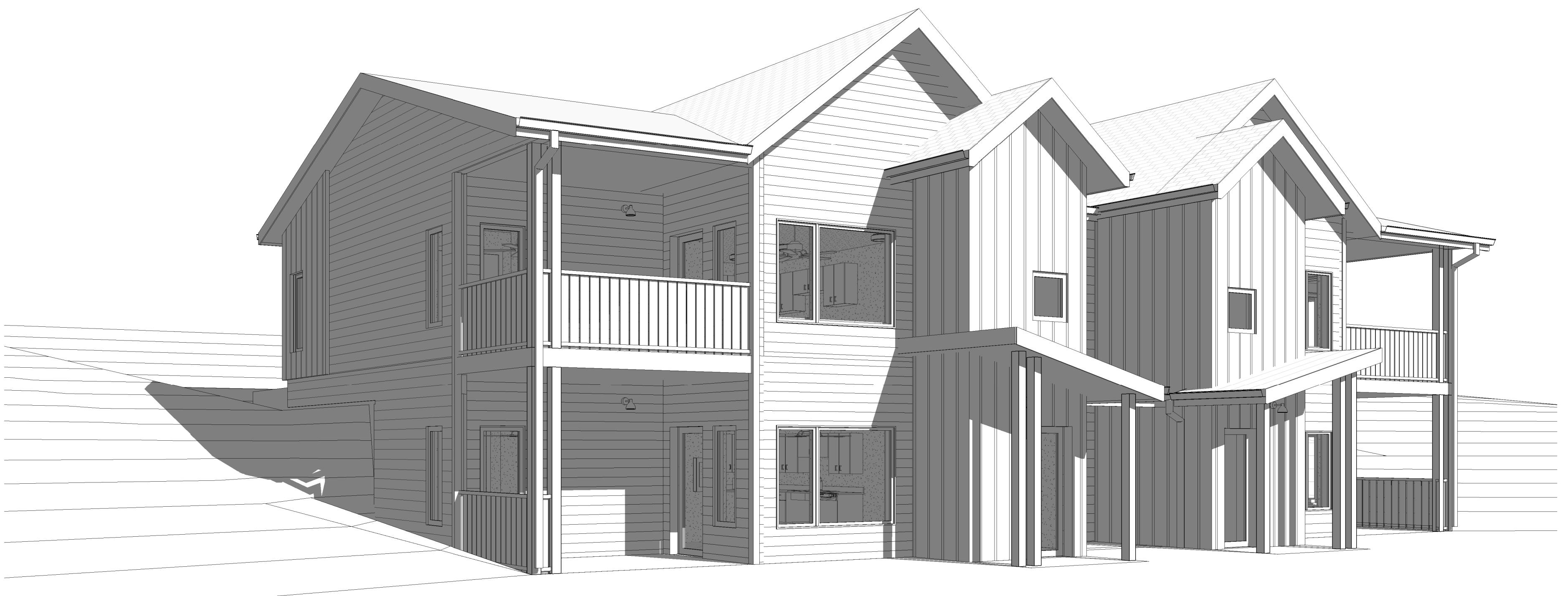
1 | East Side of Building

A3.3D | SCALE:



3 | From Top of Hill

A3.3D | SCALE:



2 | Drive Face

A3.3D | SCALE:

Lyons Valley Townhomes

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EXTERIOR
VIEWS

EDI Job #: 18.121

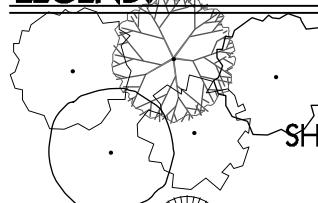
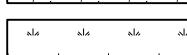
A3.3D



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LEGEND:

-  SHADE TREES
-  EVERGREEN TREES
-  ORNAMENTAL TREES
-        SHRUBS
-  * ORNAMENTAL GRASSES
-  PERENNIALS
-  BLACK ROLL-TOP EDGER
-  DROUGHT TOLERANT BLUEGRA
-  LOW GROW SEED MIX
-  PLAYGROUND SURFACE

A NEW 29 UNIT AFFORDABLE HOUSING PROJECT: **LYONS VALLEY TOWNHOMES**

LYONS, COLORADO

SITE PLAN SUBMISSION: 6/28

2nd SUBMISSION: 1/31

LANDSCAPE PLAN

edinc Job #: 18.121

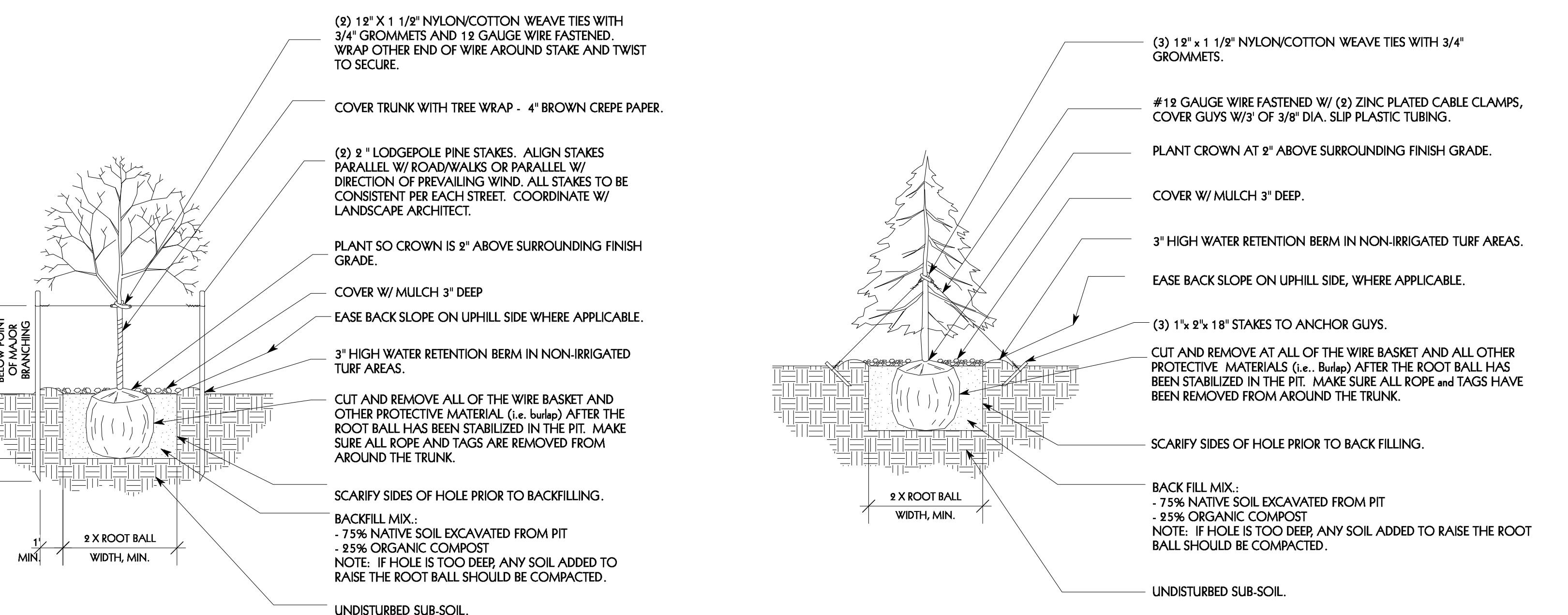
L1.0

PLANT LIST - 01/29/2020

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	O.C. SPACING
SHADE TREES:					
HB	7	Hackberry	<i>Celtis occidentalis</i>	2" cal.	as shown
KC	4	Kentucky Coffeetree	<i>Gymnocladus dioicus</i>	2" cal.	as shown
LLC	2	Lanceleaf Cottonwood	<i>Populus x acuminata</i>	2" cal.	as shown
SHL	4	Shademaster Honeylocust	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	2" cal.	as shown
WC	2	Northern Catalpa	<i>Catalpa speciosa</i>	2" cal.	as shown
TOTAL	19				
EVERGREEN TREES:					
PIN	4	Pinyon Pine	<i>Pinus edulis</i>	6' ht.	as shown
TOTAL	4				
ORNAMENTAL TREES:					
ABP	2	Autumn Blaze Pear	<i>Pyrus calleryana</i> 'Autumn Blaze'	1.5" cal.	as shown
ABS	6	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	1.5" cal.	as shown
TOTAL	8				
DECIDUOUS SHRUBS:					
DBBB	4	Compact Dark Blue Butterfly Bush	<i>Buddleja davidii</i> Adonis Blue	5 gal.	5' o.c.
DBCB	3	Iroquois Beauty Dwarf Black Chokeberry	<i>Aronia melanocarpa</i> Iroquois Beauty	5 gal.	3.5' o.c.
DBRB	14	Dwarf Blue Rabbitbrush	<i>Chrysothamnus nauseosus</i>	5 gal.	4' o.c.
GGS	14	Glow Girl Spirea	<i>Spiraea betulifolia</i> 'Tor Gold'	5 gal.	3' o.c.
LDP	47	Lodense Privet	<i>Ligustrum vulgare</i> 'Lodense'	5 gal.	4' o.c.
LP	6	Leadplant	<i>Amorpha Canescens</i>	5 gal.	3.5' o.c.
NWR	18	Nearly Wild Rose (Floribunda)	<i>Rosa x</i> 'Nearly Wild'	5 gal.	3' o.c.
RJLB	24	Redleaf Japanese Barberry	<i>Berberis thunbergii</i> 'Atropurpurea'	5 gal.	4' o.c.
RS	21	Russian Sage	<i>Perovskia atriplicifolia</i>	5 gal.	4' o.c.
SJW	94	Sunburst St. John's Wort	<i>Hypericum frondosum</i> Sunburst'	5 gal.	4' o.c.
TOTAL	175				
ORNAMENTAL GRASSES:					
BAG	28	Blue Avena Grass	<i>Helictotrichon sempervirens</i>	1 gal.	18" o.c.
MG	8	Morning Light Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'	1 gal.	36" o.c.
VFRG	46	Variegated Feather Reed Grass	<i>Calamagrostis scutiflora</i> 'Overdam'	1 gal.	24" o.c.
TOTAL	82				
PERENNIALS/GROUNDCOVERS:					
HSJW	40	Hidcote St. John's Wort	<i>Hypericum 'Hidcote'</i>	1 gal.	18" o.c.
SD	12	Becky Shasta Daisy	<i>Leucanthemum x</i> 'Becky'	1 gal.	18" o.c.
TOTAL	52				

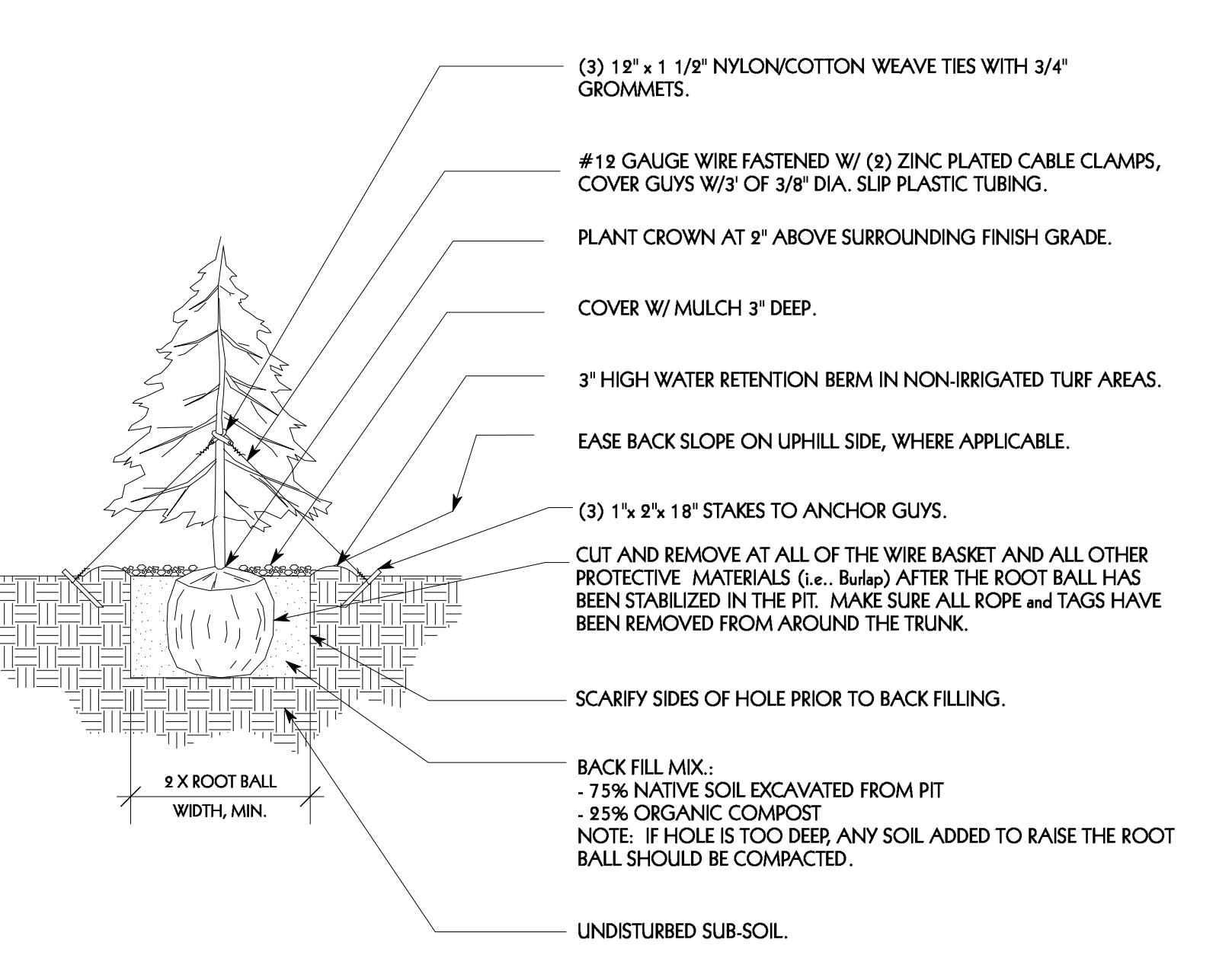
PLANT NOTES:

- All plant material shall meet specifications of the American Association of Nurserymen (AAN) for number one grade. All trees shall be balled and burlapped. All plant materials shall have all wire, twine or other containment materials, except for burlap, removed from trunk and root ball of the plant prior to planting.
- Trees shall not be planted closer than 10 feet to any utility line. Tree planting shall be coordinated with electric distribution system. Locations of all utilities shall be verified in the field prior to planting.
- All shrubs shall be planted no closer than 3' from any walk or road edge.
- Grades shall be set for proper drainage away from structures. Grades shall maintain smooth profiles and be free of surface debris, bumps, and depressions.
- Developers shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other constructions does not conflict nor preclude installation and maintenance of landscape elements on this plan.
- All shrub beds adjacent to turf or seed areas shall be edged with rolled top black edger or approved equivalent.
- All shrub bed areas shall be mulched with a 4" layer of 3/4" Mountain Mix (Pioneer Sand & Gravel). Perennials and groundcover areas shall be mulched with a 3" layer of wood mulch. Landscape fabric to be used in shrub beds only, **do not install fabric below ornamental grasses, perennials or groundcover areas.**
- Prior to installation of plant materials, all areas not covered by impervious surfaces shall be thoroughly loosened; organic soil amendments shall be incorporated at the rate of at least three (3) cubic yards per 1000 square feet of landscape area in all turf and shrub beds.
- All lawn areas will be sodded with a drought tolerant bluegrass blend. All slopes steeper than 3:1 will have erosion control fabric.
- All landscape (plant materials and grass) will be irrigated with an automatic system. System to be design-build by experienced contractor.
- Refer to the Civil Engineer Drawings for Grading and Utility information.
- All landscaping within the ROW shall meet current Town of Lyons Design Standards and Construction Specifications.



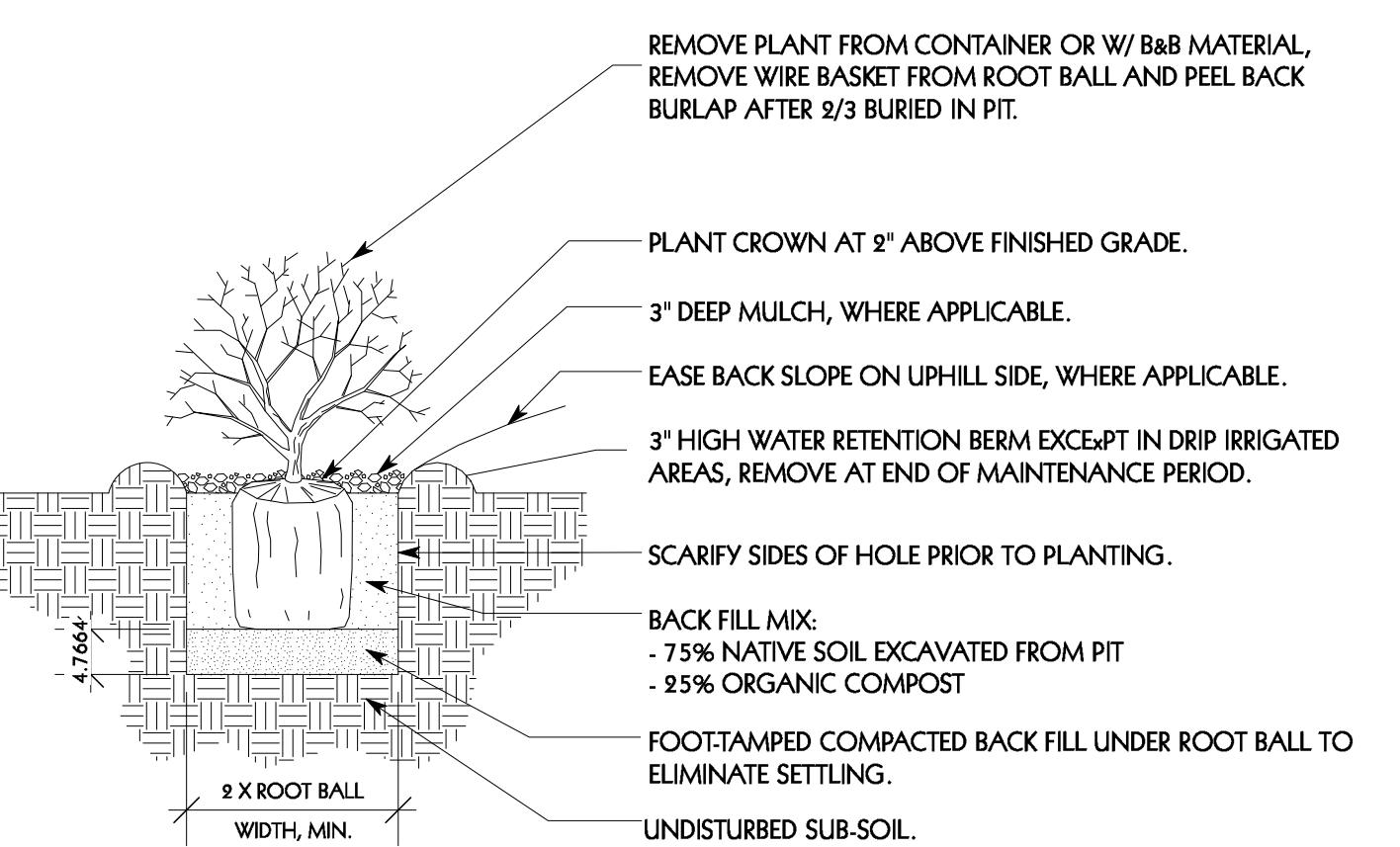
DECIDUOUS TREE PLANTING & STAKING

SCALE: NTS



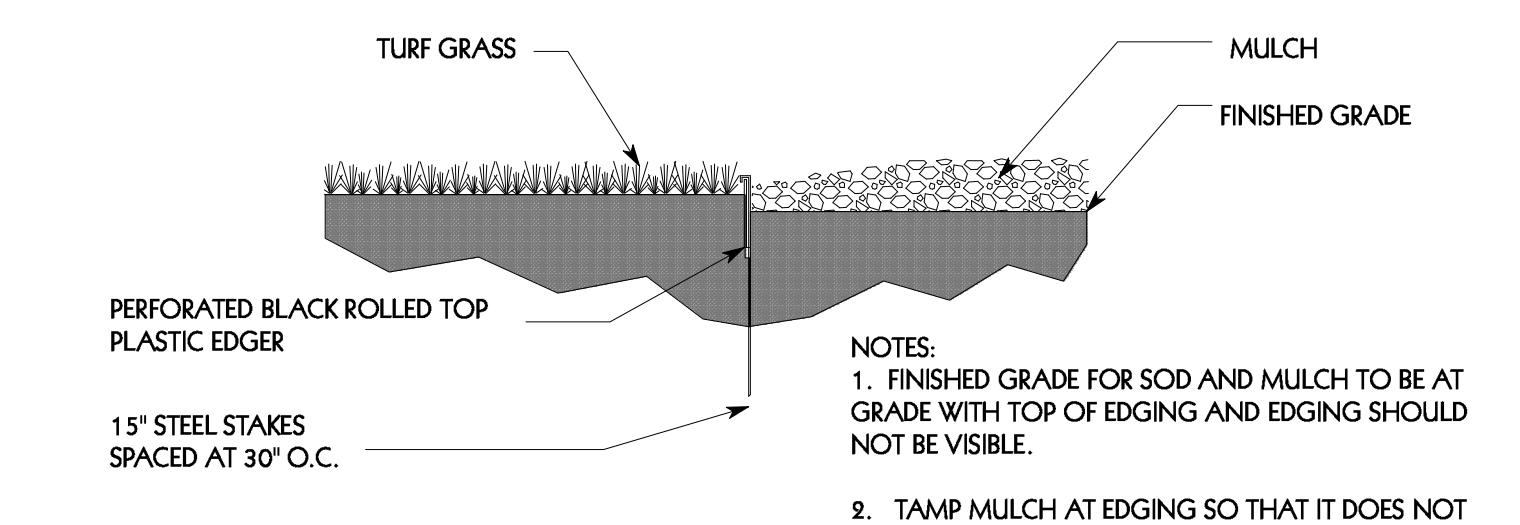
EVERGREEN TREE PLANTING & STAKING

SCALE: NTS



TYPICAL SHRUB PLANTING

SCALE: NTS



EDGING

SCALE: NTS



TYPICAL PLAYGROUND STRUCTURE

SCALE: NTS

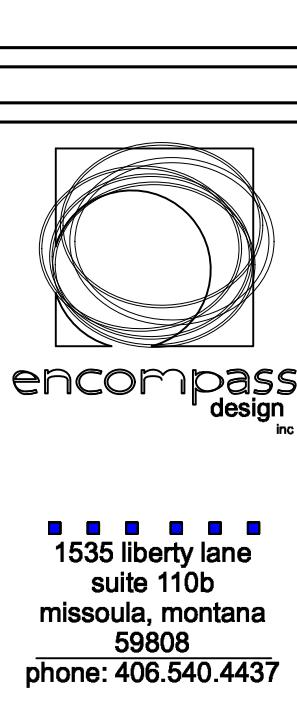
A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:
LYONS VALLEY TOWNHOMES

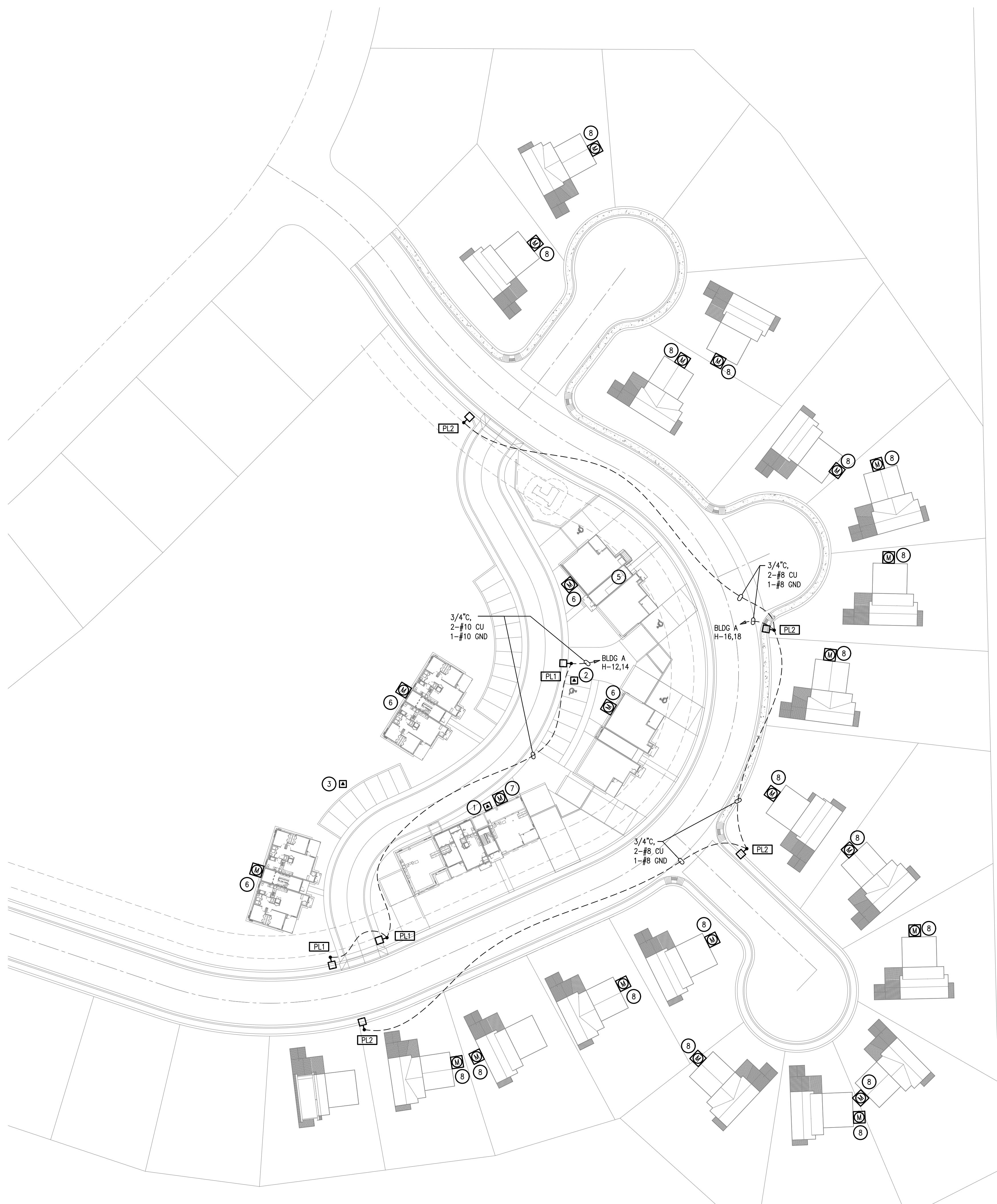
LYONS, COLORADO

SITE PLAN SUBMISSION: 6/28
2nd SUBMISSION: 1/31
LANDSCAPE NOTES & DETAILS
PRINT DATE: January 30, 2020

edinc Job #: 18.121

L2.0







1 ELECTRICAL SITE PLAN

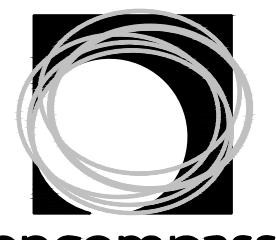
SCALE: 1" = 40'-0"

GENERAL NOTES:

- A. ELECTRICAL CONTRACTOR TO PROVIDE ALL SECONDARY CABLING, CONDUIT, AND TRANSFORMER PADS AS REQUIRED BY THE CITY OF LYONS.
- B. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, CONDUIT AND CABLING FOR ROADWAY LIGHTS. COORDINATE INSTALLATION WITH ELECTRICAL UTILITY COMPANY.
- C. REFER TO EACH SET OF BUILDING PLANS SHEET E3.0 FOR LOAD CALCULATIONS.

KEYED NOTES:

1. PAD MOUNTED TRANSFORMER FOR BUILDING C.
2. PAD MOUNTED TRANSFORMER FOR BUILDINGS A & B.
3. PAD MOUNTED TRANSFORMER FOR BUILDINGS D & E.
4. PAD MOUNTED TRANSFORMER FOR BUILDINGS F & G.
5. BUILDING A LOCATION.
6. ELECTRICAL SERVICE IS 240/120 SINGLE PHASE; 400 AMPS. REFER TO SHEET E30 FOR BUILDING LOAD CALCULATIONS.
7. ELECTRICAL SERVICE IS 240/120 SINGLE PHASE; 600 AMPS. REFER TO SHEET E30 FOR BUILDING LOAD CALCULATIONS.
8. ELECTRICAL SERVICE IS 240/120 SINGLE PHASE; 200 AMPS.



1535 liberty
suite
missoula,
598

phone: 406

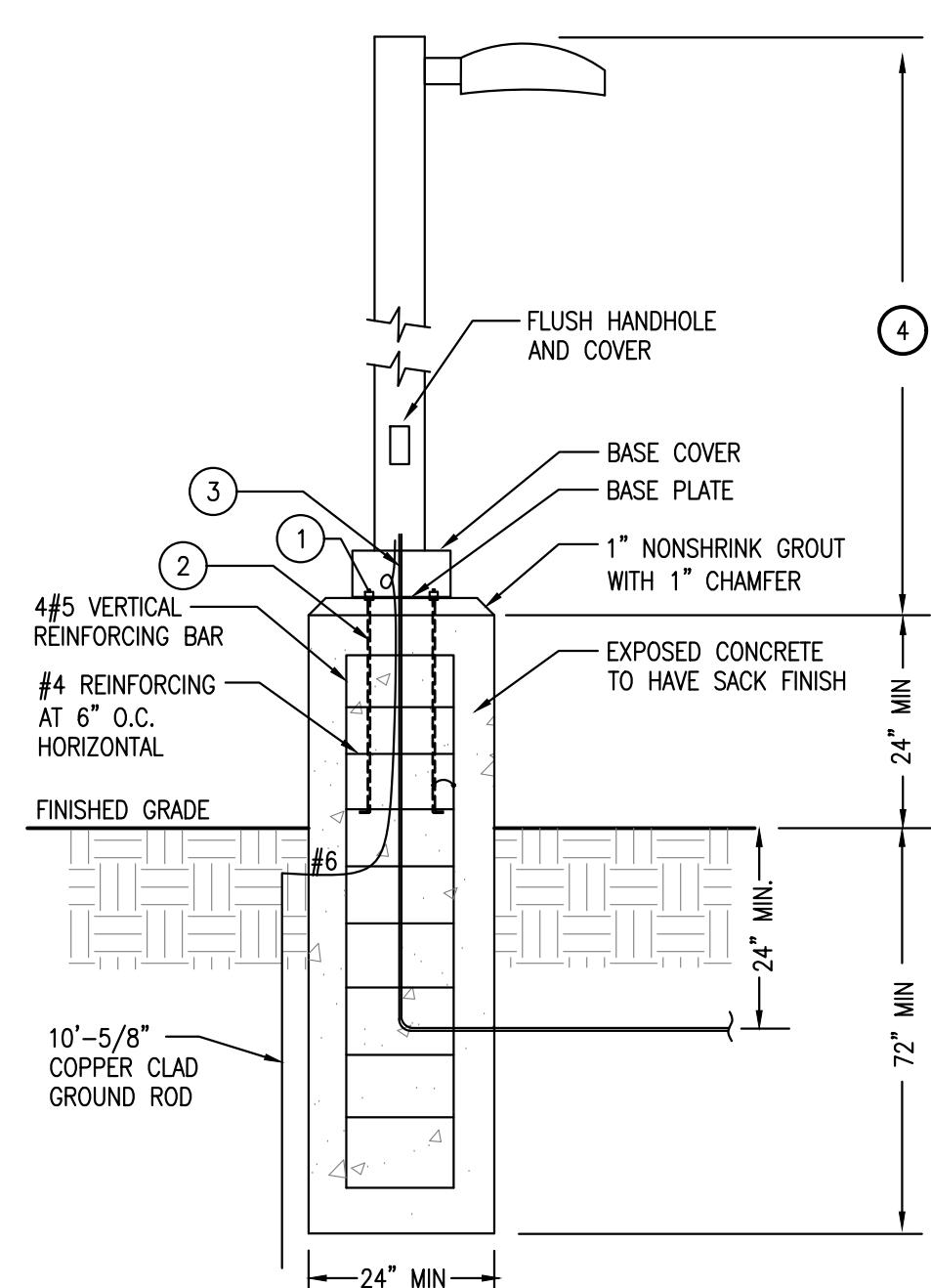
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A NEW 29 UNIT AFFORDABLE HOUSING PROJECT: LYONS VALLEY TOWNHOMES

AFFORDABLE HOUSING VALLEY TOWNSONS, COLORADO

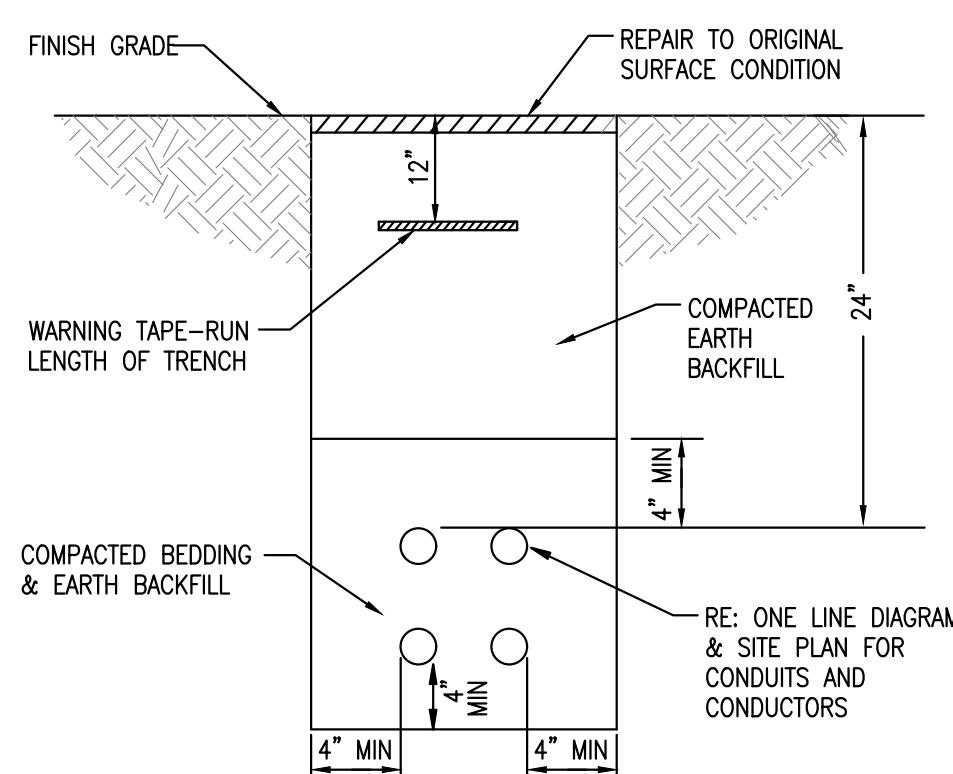


KEYED NOTES

1. PROVIDE STAINLESS STEEL LOCKNUTS AND LOCKWASHERS.
2. PROVIDE ANCHOR BOLTS TO MATCH PATTERN AS PROVIDED BY MANUFACTURER.
3. STUB 3/4" C-6" ABOVE POLE BASE.
4. 14' FOR PL1. 22' FOR PL2.

LIGHT POLE DETAIL - PL1,PL2

SCALE: NTS



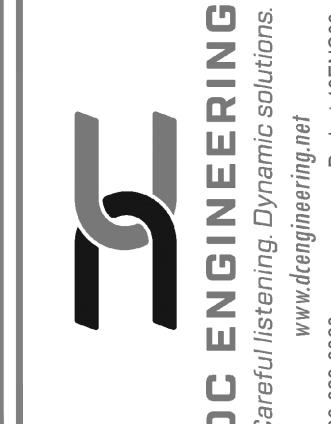
3 UNDERGROUND CONDUIT DETAIL

SCALE: NIS

E1.0



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LYONS, COLORADO

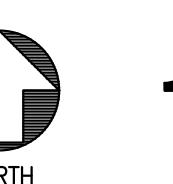
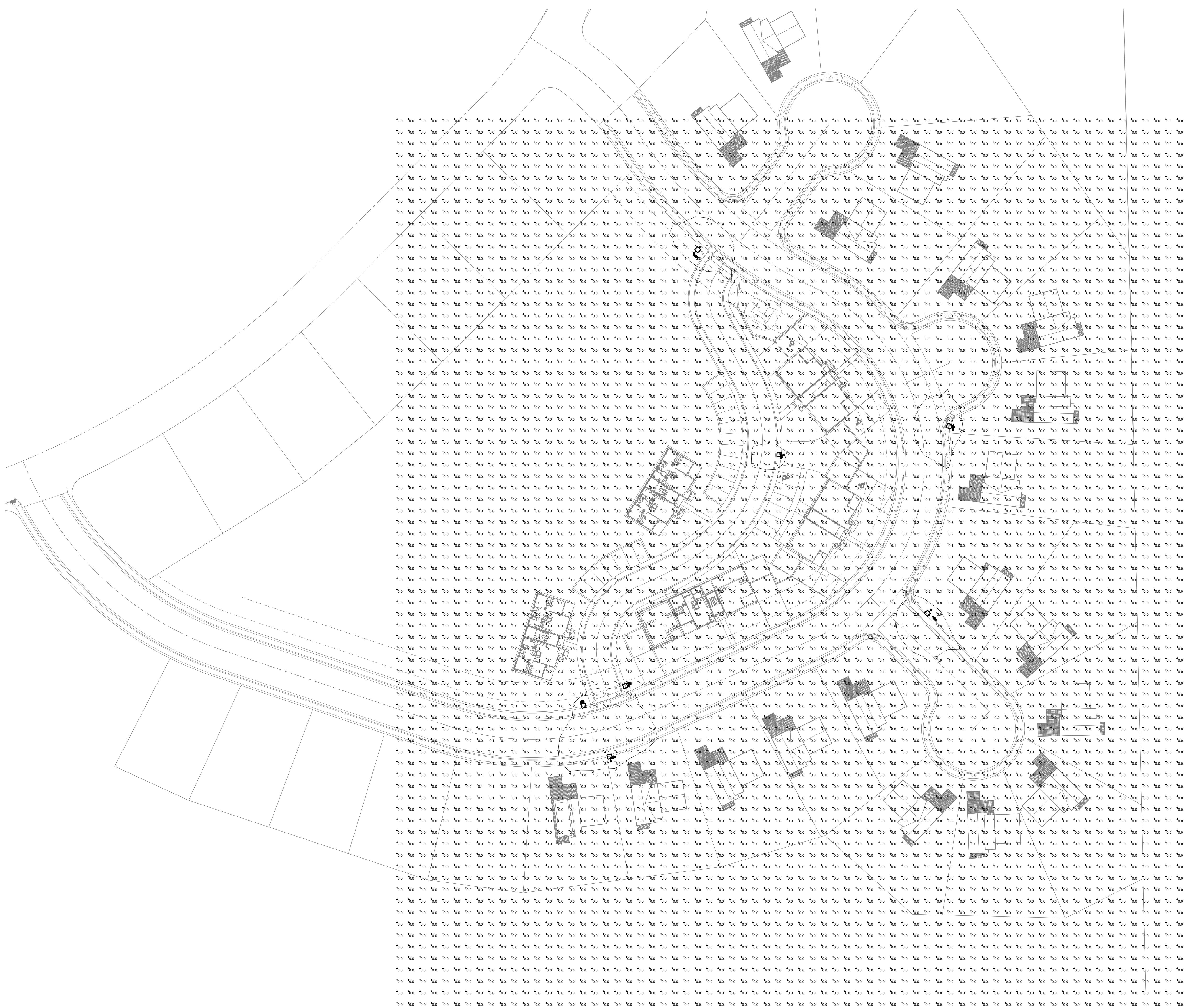
A NEW 29 UNIT AFFORDABLE HOUSING PROJECT:
LYONS VALLEY TOWNHOMES

95% PERMIT SET: 7/19

ELECTRICAL
PHOTOMETRIC
SITE PLAN

edinc Job #: 18.121

E1.1



1 ELECTRICAL PHOTOMETRICS
SCALE: 1" = 40'-0"