

TEMPORARY CONSTRUCTION ACCESS EASEMENT AGREEMENT

THIS TEMPORARY CONSTRUCTION ACCESS EASEMENT AGREEMENT (this "Agreement") is entered into this __th day of March, 2023, by **Lyons Valley Townhomes, LP**, whose legal address is 2525 Palmer Street, Suite 1, Missoula, MT 59808 (collectively, the "Grantee"), and the **TOWN OF LYONS**, a statutory municipality of the State of Colorado, whose address is 432 5th Avenue, Lyons, CO 80540 ("Town" or "Grantor") (collectively, the "Parties").

In consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which is acknowledged, and the further consideration of the covenants and agreements set forth below, Grantor hereby sells, conveys, transfers, and delivers to the Grantee its contractors, consultants, subcontractors, subconsultants, materialmen, suppliers, workers, successor and assigns, a non-exclusive Temporary Construction Access Easement (the "Temporary Construction Easement") for the real property described in **Exhibit A**, a copy of which is attached and incorporated by this reference (the "Temporary Easement Property"), to facilitate the Developers grading of Lots 29-17 on Town Property in the vicinity of the Temporary Easement Property (the "Project").

This Temporary Construction Easement is granted in accordance with, and subject to, the following terms, conditions, requirements, and limitations:

1. The Temporary Construction Easement is granted for the purpose of grading the Temporary Easement Property as depicted on the attached **Exhibit B**, a copy of which is attached hereto and incorporated by reference. Grantee is specifically permitted to grade no more than twenty-five feet into the Temporary Easement Property. Grantee is prohibited from grading the portion of the Temporary Easement Property occupied by the South Ledge Ditch and 20 feet on either side of the ditch as measured from the centerline of the ditch. For the purposes of performing the grading Grantee is also permitted vehicular and pedestrian ingress and egress to and from the Temporary Easement Property and for Grantee's use to do all things reasonably necessary to grade the Temporary Easement Property including, but not limited to, the transport, stockpiling and storage of construction materials, soil, equipment and vehicles.

2. Upon expiration of the Temporary Construction Easement, Grantee, at its sole cost and expense, shall restore the Temporary Easement Property to substantially the same condition it was in prior to Grantee's use with topsoil and seed; provided, however, that trees and shrubs and other vegetation will not be replaced. Grantee shall re-seed the Temporary Easement Property, at Grantee's sole cost and expense, with the seed mix and soil amendments provided by Grantor as listed in the attached **Exhibit C**, a copy of which is attached hereto and incorporated by reference. Grantee shall not leave any rubbish or debris on or about the Temporary Easement Property. The term of this Agreement shall begin upon the date of mutual execution hereof and shall extend until June 30, 2023, or until the Project has been completed, whichever first occurs. Grantee may extend the Temporary Construction Easement for one (1) additional Three (3) month period (September 30, 2023) by giving written notice to Grantor on or before June 30, 2023.

3. Upon termination of this Agreement, all covenants in this instrument are released (other than Grantee's restoration obligations set forth in Paragraph 1, , and the cost recovery provision set forth in Paragraph 13, all of which shall survive the expiration or termination of this Agreement) and the Temporary Easement Property shall be considered free and clear of any restriction or any right or privilege attaching to the grant of the Temporary Construction Easement set forth in this Agreement. Upon request by Grantor, Grantee shall execute any documents reasonably requested by Grantee to confirm the termination of this Agreement.

4. Grantor covenants and agrees that it is the fee owner of the Temporary Easement Property and that it has the authority to grant this Temporary Construction Easement to the Grantee.

5. Grantor reserves all rights attendant to its ownership of the Temporary Easement Property, including but not limited to the use and enjoyment of the Temporary Easement Property for all purposes not inconsistent with the terms and conditions of this Agreement.

6. All notices provided for herein shall be in writing and shall be personally delivered or mailed by registered or certified United States mail, postage prepaid, return receipt requested, to the parties at the addresses given below or at such other address that may be specified by written notice in accordance with this paragraph:

If to Grantor:

Lyons Valley Townhomes, LP
2525 Palmer Street, Suite 1,
Missoula, MT 59808

If to Grantee:

Town of Lyons
Attn: thTown Administrator
432 5 Avenue
P.O. Box 49
Lyons, CO 80540

With a copy to:

Town of Lyons

Town Attorney
c/o Kissinger & Fellman, P.C.
3773 Cherry Creek N Dr Ste 900,
Denver, CO 80209

7. Grantee shall indemnify and hold the Town harmless from and against any and all losses, claims, suits, rights, causes of action, damage, liability or expense, including, without

limitation, attorneys' fees and court costs, arising from or in connection with the easement purpose described in Section 1 above and mechanics and materialmen's liens and claims that might be filed as the result of the performance of or in connection with the grading and related activities, except as may be caused by the negligence or willful misconduct of the Town. The Parties' obligations under this paragraph shall survive the term or expiration of this Agreement.

8. This Agreement represents the entire agreement between Grantor and Grantee as relates to the Temporary Construction Easement and supersedes all prior negotiations, representations, or agreements, either written or oral. Any amendments to this Agreement must be in writing and signed by both the Mayor and the Grantor.

9. Each and every term, condition, or covenant of this Agreement is subject to and shall be construed in accordance with the provisions of Colorado law. Venue for any action arising out of this Agreement shall be in the District Court in the County of Boulder, Colorado.

10. The benefits and burdens of the Temporary Construction Easement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

11. This Agreement shall not be recorded but shall nevertheless become effective upon full execution by all parties and delivery of same to the Grantee.

12. In the event of litigation between the parties in connection with this Agreement, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs from the non-prevailing party. The obligation in the immediately preceding sentence shall survive any termination or expiration of this Agreement.

13. Nothing in this Agreement in no way waives or limits Grantees rights under the Colorado Governmental Immunity Act, C.R.S. § 24-20-101, et. seq.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first set forth above.

GRANTEE:



Lyons Valley Townhomes, LP

GRANTOR:

TOWN OF LYONS, COLORADO

By: _____
Hollie Rogin, Mayor

Attest: _____
Dolores Vasquez, Town Clerk

[Notary blocks for all signatories to this document follow].

[illegible]

The foregoing instrument was subscribed to and acknowledged before me this _____ day of _____, 2023, by **Hollie Rogin** as the Mayor of the TOWN OF LYONS, COLORADO, for and on behalf of the Town.

Witness my hand and official seal.

My commission expires: _____

[SEAL]

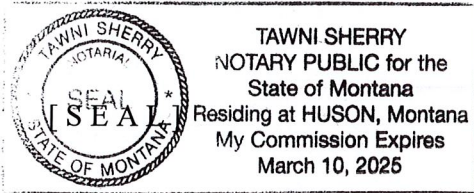
Notary Public

STATE OF COLORADO)
) ss.
COUNTY OF Missoula)

The foregoing instrument was acknowledged before me this 30 day of March, 2023, by **Paul Capps**.

Witness my hand and official seal.

My commission expires: March 10, 2025



Quoni Sheny

Notary Public



Property Report for Account R0515223

Today's Date: 3/12/2023

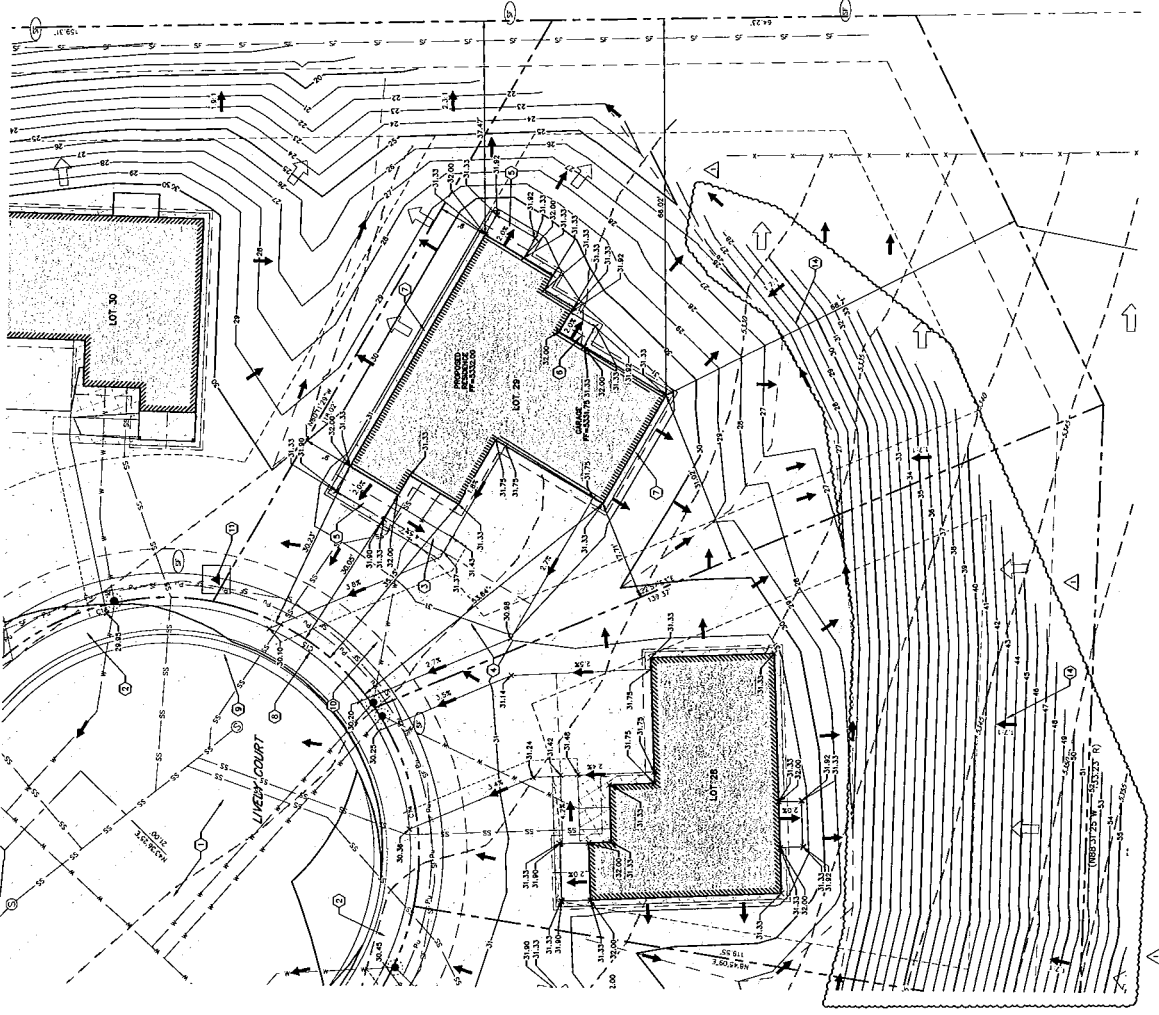
No picture available

Property Address:	0 CARTER DR
City:	LYONS
Owner:	TOWN OF LYONS
Parcel Number:	120320210009
Mailing Address:	P O BOX 49
City, State, Zip:	LYONS CO, 80540-0049
Sec-Town-Range:	20 -3N -70
Subdivision:	LYONS VALLEY PARK FLG 8 - LY
Jurisdiction:	Lyons
Legal Description:	OUTLOT B LYONS VALLEY PARK 8
Square Feet:	380,195
Acres:	8.73

Deeds

Deed#	Sale Date	Recorded	Sale Price
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Exhibit B



LEGEND

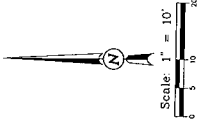
- EXISTING CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER METER
- CONTROL POINT
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING UNDERGROUND POWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER W/PIRE HYDRANT
- EXISTING STORM SEWER MANHOLE
- PROPOSED CONTOUR
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED POWER POLE
- PROPOSED FIRE HYDRANT
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW DIRECTION

KEYED NOTES

1. EXISTING CONTOUR LINE SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.
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14. EXISTING CONTOUR LINE SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.

GRADING NOTES

1. GRADES SHALL BE SET AT A MINIMUM 10' ABOVE THE PROPOSED GRADE LINE.
2. TOP OF FOUNDATION ELEVATION SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.
3. FLOOD PLAIN ELEVATION SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.
4. ALL MANHOLE DEPTHS SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.
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14. THE PROPOSED GRADE LINE SHALL BE SET AT 10' ABOVE THE PROPOSED GRADE LINE.



encompass
ENGINEERING

10000 E. 1st Ave.
Suite 100
Denver, CO 80231
PHONE: 303.733.8800
FAX: 303.733.8801

siteworks
Engineering
Planning
Design

10000 E. 1st Ave.
Suite 100
Denver, CO 80231
PHONE: 303.733.8800
FAX: 303.733.8801

LYONS VALLEY BUILDINGS - LOT 29

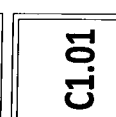
A NEW 40 UNIT AFFORDABLE HOUSING PROJECT

LYONS, CO

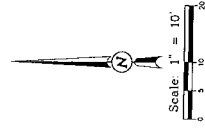
GRADING PLAN

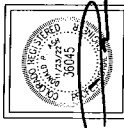
DATE: 03/20/2012
DRAWN: JLD
CHECKED: JLD
APPROVED: JLD

C1.01



- [illegible]





LYONS VALLEY BUILDINGS - LOT 26
A NEW 40 UNIT AFFORDABLE HOUSING PROJECT
LYONS, CO

PROJECT NO. 11-18-2017
DATE: 11-18-2017
ISSUED: 06-18-2022
GRADING PLAN

BY: J.A.E. 11-17-17
CHECKED: J.A.E. 11-17-17
DATE: 11-17-17

C1.01

LEGEND

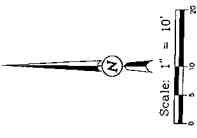
- EXISTING CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER METER
- CONTROL POINT
- EXISTING PUMP POLE
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING UNDERGROUND POWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER W/ FIRE HYDRANT
- EXISTING STORM SEWER MANHOLE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- MEETS EXISTING GRADE
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FLOOR DIRECTION

KEYED NOTES

1. EXISTING SANITARY SEWER LINE SHALL BE MAINTAINED AND NOT REMOVED. THE EXISTING SANITARY SEWER LINE SHALL BE MAINTAINED AND NOT REMOVED. THE EXISTING SANITARY SEWER LINE SHALL BE MAINTAINED AND NOT REMOVED.
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GRADING NOTES

1. GRADE SHALL BE MAINTAINED AT A MINIMUM FOR 10' IN THE FIRST 10' FEET AT THE TOP OF THE GRADE. THE GRADE SHALL BE MAINTAINED AT A MINIMUM FOR 10' IN THE FIRST 10' FEET AT THE TOP OF THE GRADE. THE GRADE SHALL BE MAINTAINED AT A MINIMUM FOR 10' IN THE FIRST 10' FEET AT THE TOP OF THE GRADE.
2. TOP OF FOUNDATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE TOP OF FOUNDATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE TOP OF FOUNDATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE.
3. FLOOD PLANE DESIGNATION OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE FLOOD PLANE DESIGNATION OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE FLOOD PLANE DESIGNATION OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE.
4. ALL MINOR GRADING SHALL BE MAINTAINED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS. ALL MINOR GRADING SHALL BE MAINTAINED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS. ALL MINOR GRADING SHALL BE MAINTAINED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS.
5. THE TOP OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE TOP OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE. THE TOP OF THE GRADE SHALL BE MAINTAINED AT LEAST 8" ABOVE THE PROPOSED FINISHED GRADE.
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LYONS VALLEY BUILDINGS - LOT 25
A NEW 40 UNIT AFFORDABLE HOUSING PROJECT
LYONS, CO

PERMIT SET: 03.23.2021
TOWN CD: 11.15.2021
GRADING REVISION: 06.19.2022
GRADING PLAN

ARLCO, INC. 18.121
CITY OF LYONS, COLORADO

C1.01

LEGEND

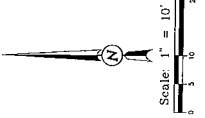
- EXISTING CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER METER
- CONTROL POINT
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING DRAIN
- EXISTING UNDERGROUND POWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER W/FE HYDRANT
- EXISTING STORM SEWER MANHOLE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- MEETS EXISTING GRADE
- PROPOSED SPOT ELEVATION
- ADD 300 TO ALL SPOT ELEVATIONS
- EXISTING SPOT ELEVATION
- HISTORIC SHEET FLOW
- PROPOSED FLOW DIRECTION

KEYED NOTES

- CARRY INLET TO EXISTING SANITARY SEWER MANHOLE AT 31.85' ELEVATION. SEE SHEET C1.02 FOR DETAILS.
- CARRY CONCRETE DRAIN TO REAR.
- PROPOSED 4" CONCRETE DRAINAGE.
- PROPOSED 18" CONCRETE DRAINAGE. BACKFILL AREA INDICATES REQUIRED.
- PROPOSED CONCRETE FORD.
- PROPOSED CONCRETE FORD.
- LANDSCAPE GRASS WITH COUSING FOR 40' X 100' AREA. LANDSCAPE.
- MATCH GRADE AT BACK OF WALK.
- THE CONCRETE DRAINAGE MANHOLE SHALL BE INSTALLED AS PART OF THE CONCRETE DRAINAGE IMPROVEMENT PLANS.
- PROPOSED 18" CONCRETE DRAINAGE.
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- PROPOSED 18" CONCRETE DRAINAGE.

GRADING NOTES

- GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT THE BUILDING FOUNDATION. GRADE AWAY FROM THE BUILDING FOUNDATION AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT THE BUILDING FOUNDATION. EXCEPT AS NOTED.
- TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED FINISH GRADE. EXCEPT AS NOTED.
- FLOOD PLANE ELEVATIONS OF THE BUILDING SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED FINISH GRADE. EXCEPT AS NOTED.
- ALL MANHOLE UTILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS.
- THE TOPGRAPHY OF THE AREA IS SHOWN ON THE TOWN OF LYONS STANDARD SPECIFICATIONS. THE TOPGRAPHY OF THE AREA IS SHOWN ON THE TOWN OF LYONS STANDARD SPECIFICATIONS. THE TOPGRAPHY OF THE AREA IS SHOWN ON THE TOWN OF LYONS STANDARD SPECIFICATIONS.
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LYONS VALLEY BUILDINGS - LOT 24
A NEW 40 UNIT AFFORDABLE HOUSING PROJECT
LYONS, CO

PROJECT NO. 03.22.2021
DATE 11.14.2021
DRAWING NO. 16.14.2022

GRADING
PLAN

BY: J.A.P. 10.12.21
CHECKED: J.A.P. 10.12.21
DATE: 10.12.21

C1.01

LEGEND

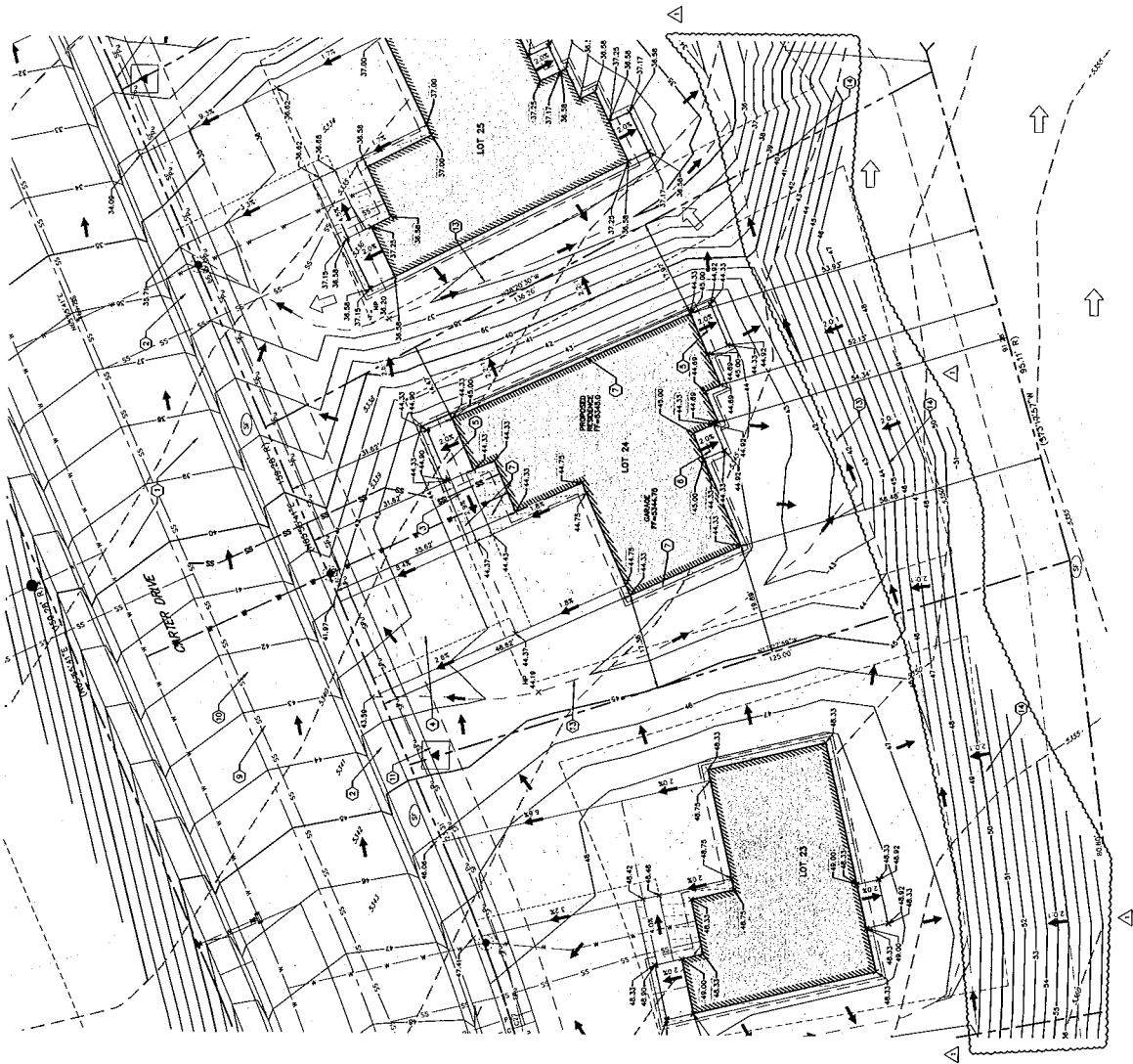
- EXISTING ELEVATION
- EXISTING WATER VALVE
- EXISTING WATER METER
- CONTROL POINT
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING UNDERGROUND POWER LINE
- EXISTING SANITARY SEWER MAIN/PIPE
- EXISTING WATER MAIN/PIPE
- EXISTING STORM SEWER MAIN/PIPE
- PROPOSED CONTOUR
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE
- EXISTING SLOPE
- PROPOSED FLOOD DIRECTION

KEYED NOTES

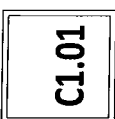
- CUTTING LINE SHALL BE SET AT 10' FROM THE PROPOSED CONCRETE REAL GROUND SURFACE. THE CUTTING LINE SHALL BE SET AT 10' FROM THE PROPOSED CONCRETE REAL GROUND SURFACE.
- EXISTING CONCRETE TO REMAIN
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED 18" CONCRETE SIDEWALK
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- PROPOSED 18" CONCRETE SIDEWALK
- PROPOSED 18" CONCRETE SIDEWALK
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- PROPOSED 18" CONCRETE SIDEWALK

GRADING NOTES

- GRADE AWAY FROM BUILDINGS AT A MINIMUM 100' SLOPE IN THE FIRST 10' FEET AT THE BUILDING FOOTING. THE GRADE SHALL BE SET AT 10' FROM THE PROPOSED CONCRETE REAL GROUND SURFACE.
- TOP OF FINISH GRADE SHALL BE SET AT 10' FROM THE PROPOSED CONCRETE REAL GROUND SURFACE.
- FLOOD PLANE ELEVATION SHALL BE SET AT 10' FROM THE PROPOSED CONCRETE REAL GROUND SURFACE.
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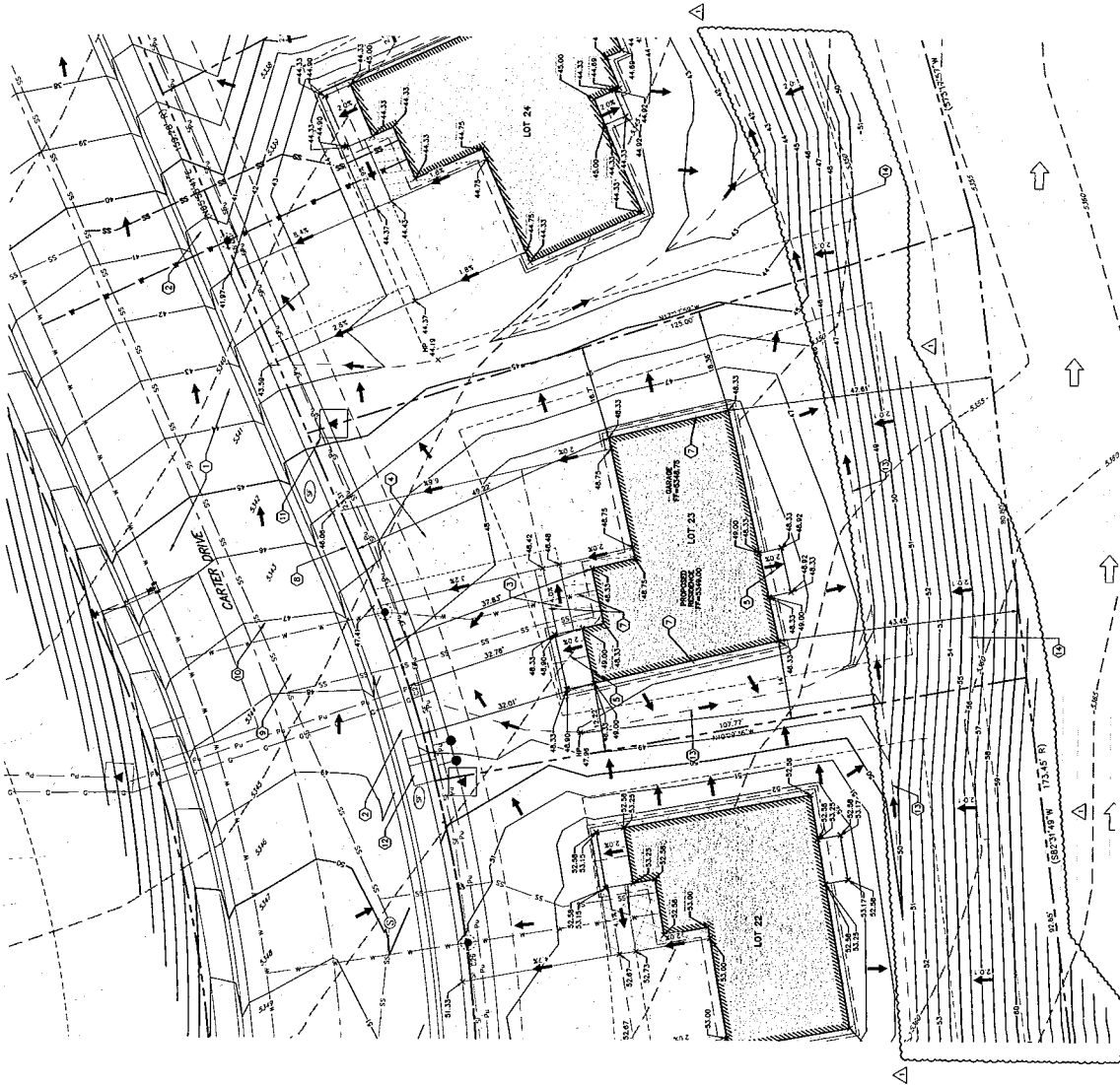


Scale: 1" = 10'



Scale: 1" = 10'

- [illegible]





LYONS, CO
A NEW 40 UNIT AFFORDABLE HOUSING PROJECT
SINGLE FAMILY BUILDINGS - LOT 22

PERMIT SET: 03.22.2021
ISSUED: 11.14.2021
CADD/REVISION: 06.14.2022
GRADING PLAN

DATE: 06.14.2022
BY: J.A.M.
CHECKED: J.A.M.
PROJECT: 20220000000000000000

C1.01

LEGEND

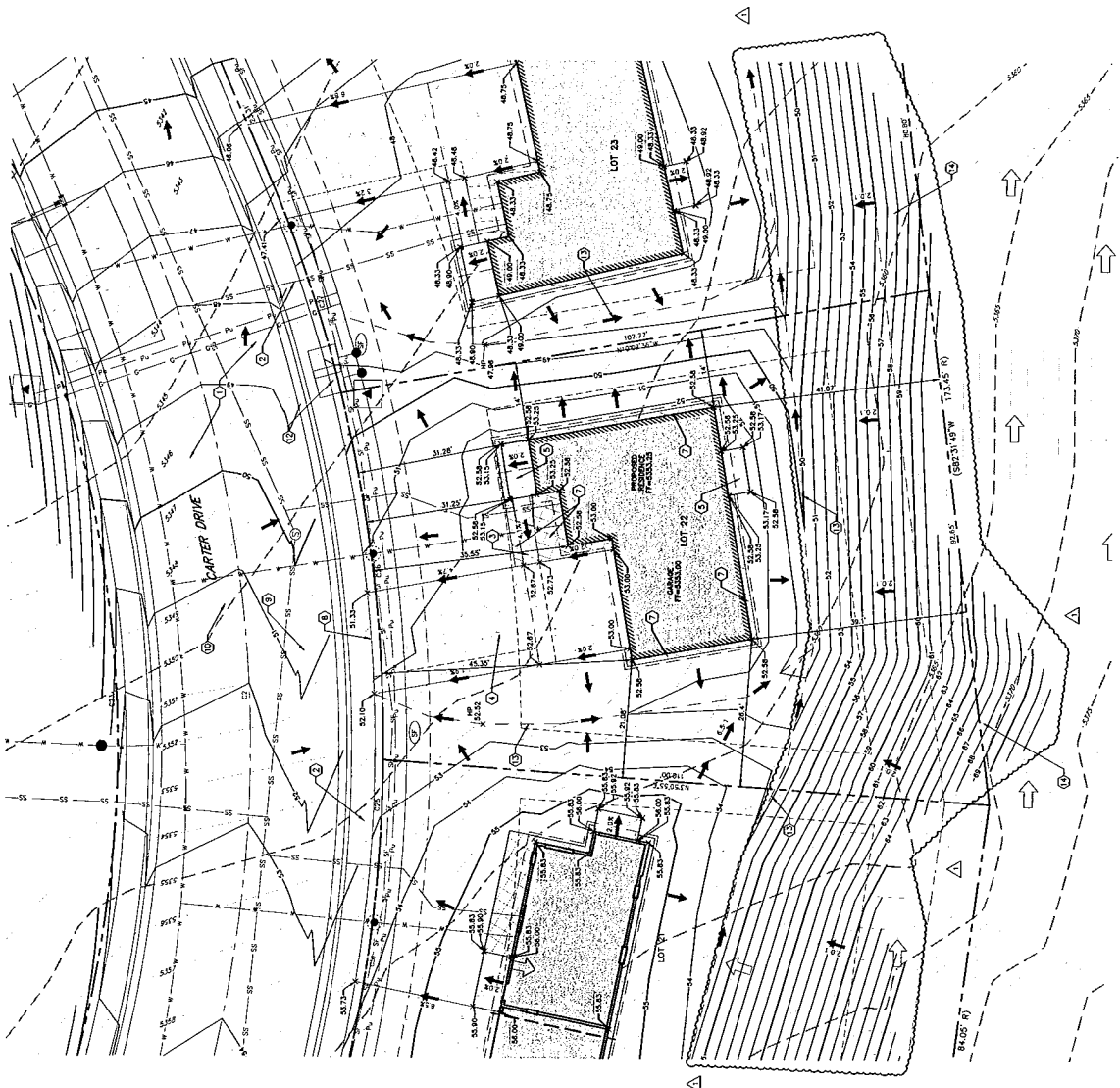
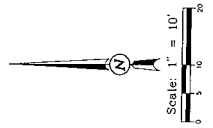
- EXISTING CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER METER
- CONTROL POINT
- EXISTING PUMP POLE
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING UNDERGROUND POWER LINE
- EXISTING START/STOP SLOPE W/WHOLE
- EXISTING WATER W/RE HYDRANT
- EXISTING STOP SLOPE W/WHOLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- POINT WHERE PROPOSED GRADE MEETS EXISTING GRADE
- PROPOSED SPOT ELEVATION
- ADD 100 TO ALL SPOT ELEVATIONS
- EXISTING SPOT ELEVATION
- EXISTING SHEET FLOW
- PROPOSED FLOW DIRECTION

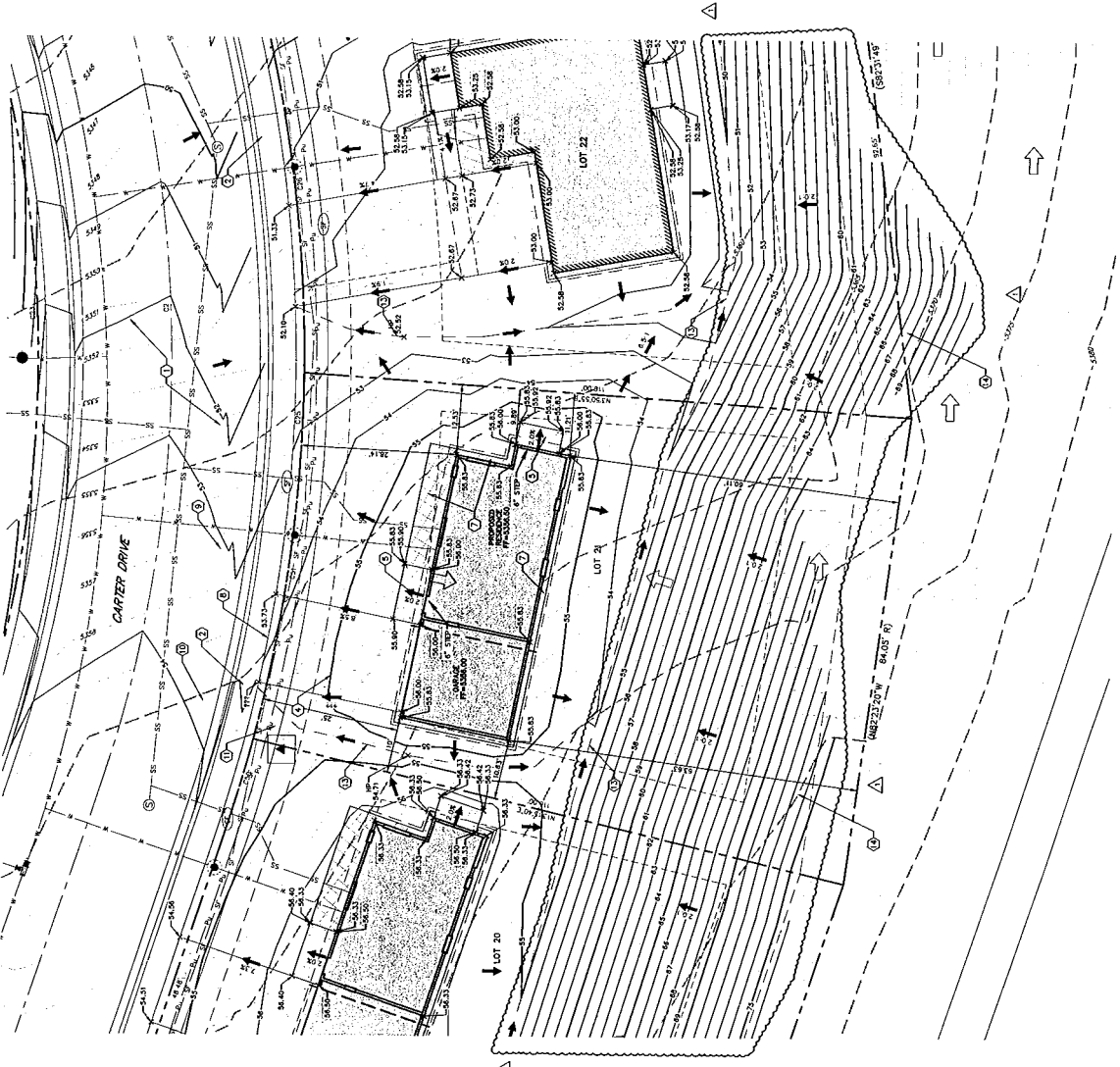
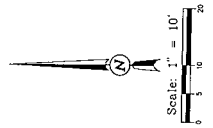
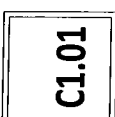
KEYED NOTES

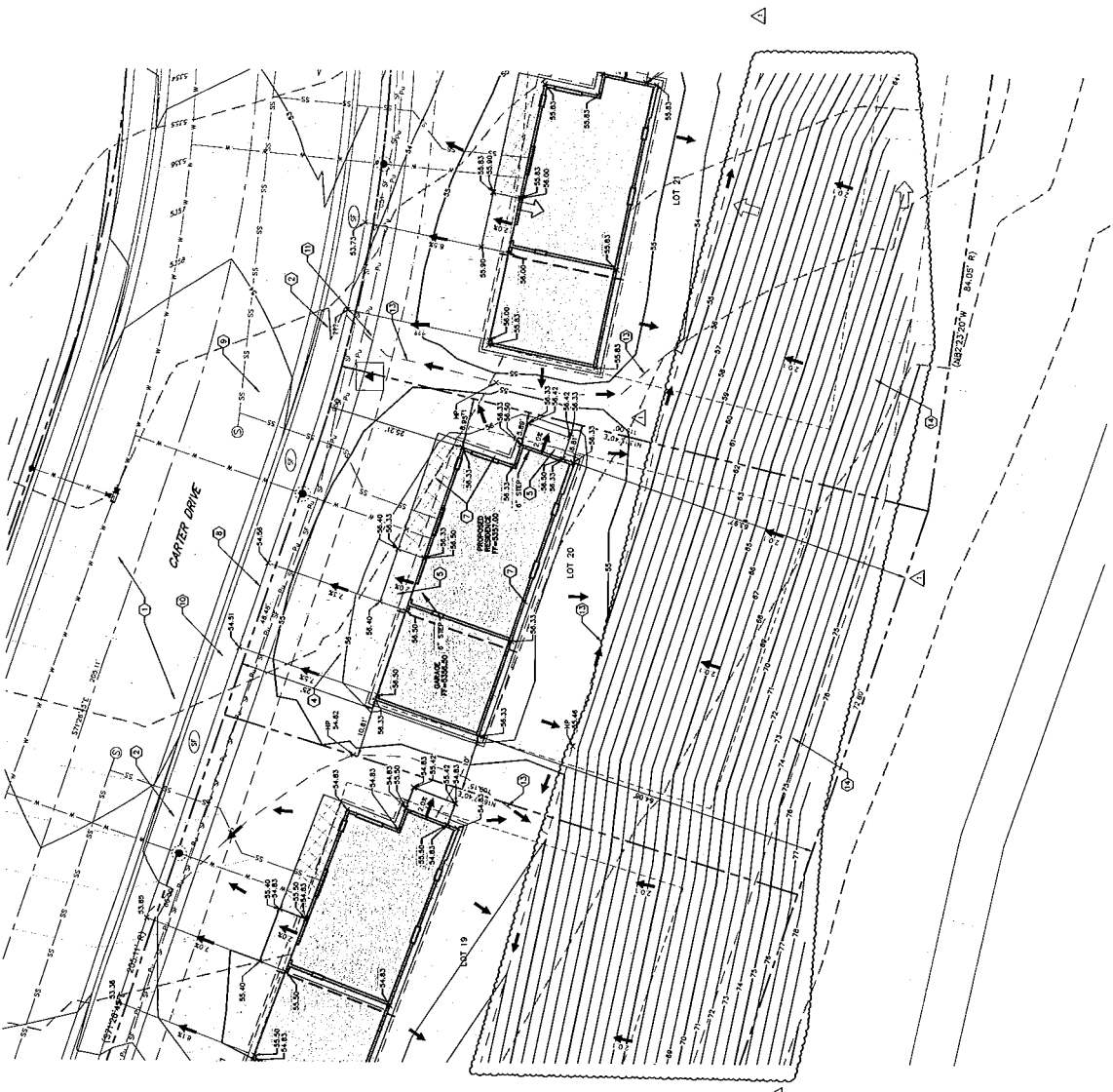
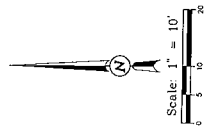
1. EXISTING GRADE, CONTOUR, AND SPOT ELEVATIONS ARE SHOWN IN THE EXISTING GRADING REPORT.
2. EXISTING CONTOUR, CONTOUR, AND SPOT ELEVATIONS ARE SHOWN IN THE EXISTING GRADING REPORT.
3. PROPOSED 4" CONCRETE DRIVEWAY. BASED AREA INDICATES REQUIRED.
4. PROPOSED 18" CONCRETE DRIVEWAY. BASED AREA INDICATES REQUIRED.
5. PROPOSED 18" CONCRETE DRIVEWAY. BASED AREA INDICATES REQUIRED.
6. PROPOSED 18" CONCRETE DRIVEWAY. BASED AREA INDICATES REQUIRED.
7. PROPOSED 18" CONCRETE DRIVEWAY. BASED AREA INDICATES REQUIRED.
8. MATCH GRADE AT BACK OF WALL.
9. LANDSCAPE SPOT ELEVATION WITH CORING FOR 4" W/WHOLE. RE: LANDSCAPE.
10. CORRECT TO EXISTING "J" WATER STOP, WATER METER AND WATER PIT.
11. THE EXISTING PUBLIC UTILITY SHALL BE INSTALLED AS PART OF THE EXISTING GRADE.
12. PROPOSED ELECTRIC UTILITY SHALL BE INSTALLED AS PART OF THE EXISTING GRADE.
13. PROPOSED STREET LIGHT.
14. PROPOSED BRANCHED SWALE.

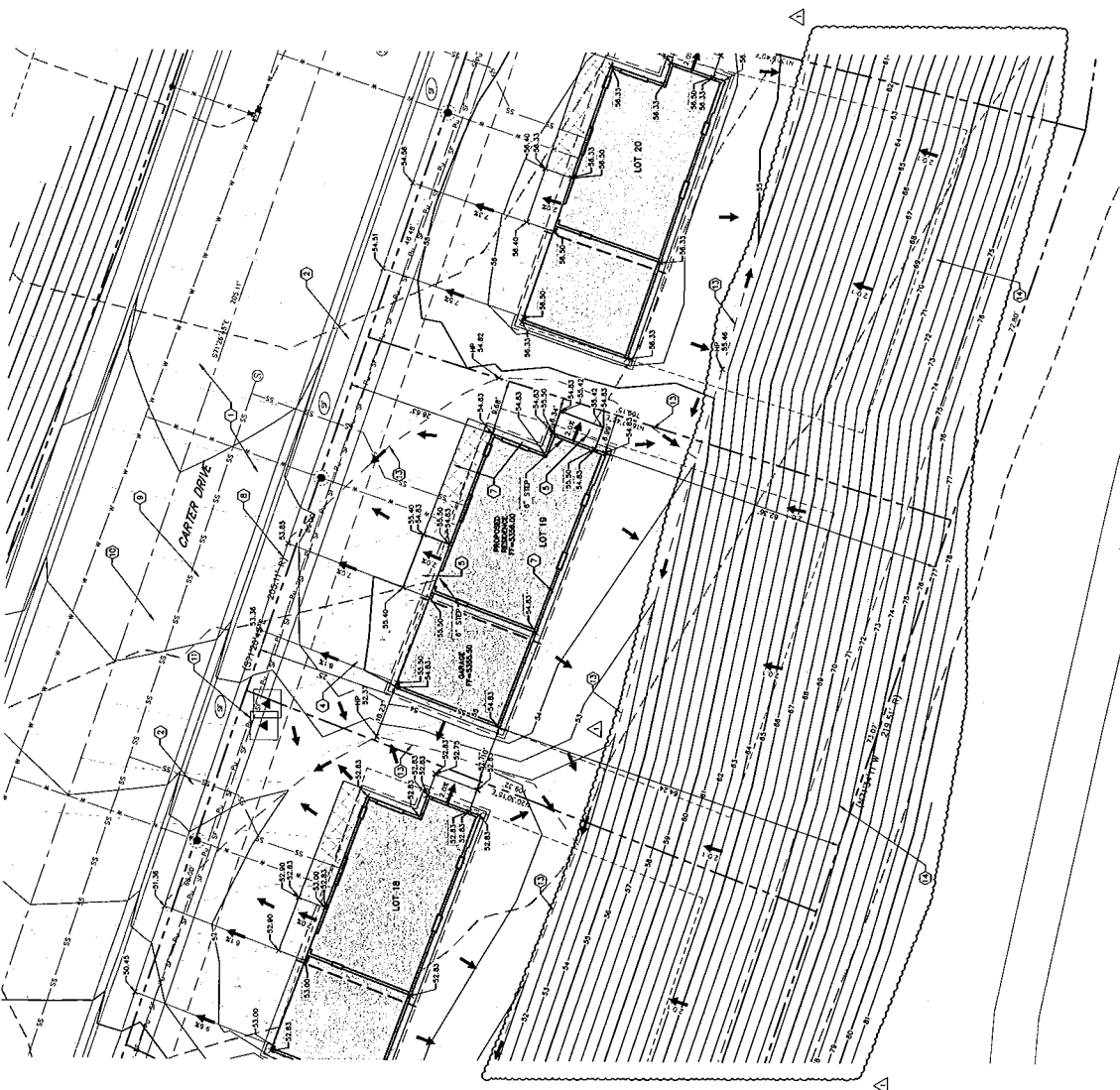
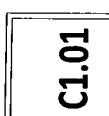
GRADING NOTES

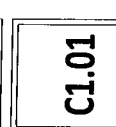
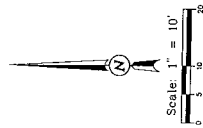
1. GRADE ANY FROM BUILDING AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT THE BUILDING.
2. TOP OF FOUNDATION SHALL BE SET AT LEAST 1' ABOVE THE PROPOSED FINISHED GRADE.
3. FLOOD PLAIN OCCUPANCY OF THE SUBMITTED AREAS. LANDSCAPE AREAS.
4. ALL W/WHOLE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF LYONS STANDARD SPECIFICATIONS.
5. THE EXISTING GRADE, CONTOUR, AND SPOT ELEVATIONS ARE SHOWN IN THE EXISTING GRADING REPORT.
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14. THE EXISTING GRADE, CONTOUR, AND SPOT ELEVATIONS ARE SHOWN IN THE EXISTING GRADING REPORT.









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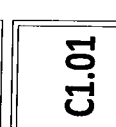
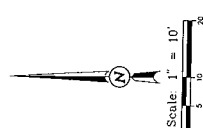
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Exhibit C

Seed Mix

Common Name	Latin name	Preferred Variety	% of mix	PLS#/Acre
Grasses				
Side Oats Grama	<i>Bouteloua curtipendula</i>	Vaughn	7	2.28
Blue Grama	<i>Bouteloua gracilis</i>	Native or Alma or Hachita	12	0.79
Canada Wildrye	<i>Elymus canadensis</i>	Mandan	8	3.03
Squirreltail	<i>Elymus elymoides</i>	Pueblo or Wapiti	10	3.18
Thickspike Wheatgrass	<i>Elymus lanceolatus</i>	Critana	12	3.35
Slender Wheatgrass	<i>Elymus trachycaulus</i>	San Luis	9	2.47
Little Bluestem	<i>Schizachyrium scoparium</i>	Cimarron or Pastura	8	1.34
Sand Dropseed	<i>Sporobolus cryptandrus</i>	VNS	4	0.06
Needle and Thread Grass	<i>Stipa comata</i>	VNS	10	3.79
Totals			80	20.29
Forbs and Shrubs				
Prairie Sage	<i>Artemisia ludoviciana</i>	VNS	3	0.03
Rabbitbrush	<i>Ericameria nauseosus</i>	VNS	6	0.76
Blanketflower	<i>Gaillardia aristata</i>	VNS	3	0.99
Golden Aster	<i>Heterotheca villosa</i>	VNS	4	0.25
Yellow Coneflower	<i>Ratibida columnifera</i>	VNS	4	0.14
Totals			20	2.17
		Overall Total	100	22.46
VNS = Variety Not Stated - Wild Native Collections				
Rates are for broadcasting. If using seed drill, reduce rate by 50%				

All seed supplied will be in compliance with State and Federal Seed noxious weed laws, with proper labeling and documentation.

Soil Amendments:

Soil amendment shall be composted material shall consist of aged organic matter, free of weed or other noxious plant seeds, lumps, stones, or other foreign contaminants harmful to plant life, and having the following characteristics based on a nutrient test performed no longer than 3 months prior to its incorporation into the project:

1. Organic matter: 25% maximum.
2. Salt content: 5.0 mmhos/cm maximum.
3. pH: 7.5, maximum.

4. Carbon to nitrogen ratio shall be less than 20:1.
2. Mountain peat, aspen humus, gypsum and sand will not be accepted.
3. Acceptable product: Class I compost, such as Ecogro or Bio-comp, as produced by A1 Organics, Eaton, CO, or approved equal.
4. If a site is unable to be tilled as determined by the Project Manager, then the following products shall be used as a soil conditioner:
 1. Organic slow release fertilizer (6-1-1), acceptable product: "Biosol" or approved equal.
 2. Granular Humic Acid soil conditioner, acceptable product: "Menefee Humate Soil Conditioner".
 3. Mycorrhizal Granular Inoculum. Acceptable product: "MycoApply Endo Granular.
 4. Mycorrhizal Fungi: Dry, granular inoculant containing at least 5300 spores per lb (0.45 kg) of vesicular-arbuscular mycorrhizal fungi and 95 million spores per lb (0.45 kg) of ectomycorrhizal fungi, 33 percent hydrogel, and a maximum of 5.5 percent inert material.
 5. Mycorrhizal Inoculant: AM-120, as manufactured by Reforestation Technologies International, locally available from Pawnee Buttes Seed, Greeley, CO, (970)356-7002.

Application rate: Application of soil amendments shall be at a rate of 100 CY per Acre for native seed area, and 4 cubic yards of soil amendment per 1000 SF of irrigated area.

Sod and Grass Areas: Rip or scarify compacted subgrade to a 12" depth to bond topsoil to subsoil. Place amended topsoil to a minimum depth of 8" after settlement in sod areas. After applying soil condition and fertilizer, thoroughly till area to depth of 6" minimum by plowing, rototilling, harrowing, or disking until soil is well pulverized and thoroughly mixed.

Native Grass Areas: Rip or scarify compacted subgrade to a 12" depth to bond topsoil to subsoil. Place amended topsoil to a minimum depth of 6" after settlement in native areas. After applying soil condition and fertilizer, thoroughly till area to depth of 6" minimum by plowing, rototilling, harrowing, or disking until soil is well pulverized and thoroughly mixed. Utilize an approved hydromulcher to apply cellulose fiber at a rate of 3,000 pounds per acre.