

BONNAVILLA - AMES

1543 EA UNIT X 2 = 3086 SQ. FT.



DEALER

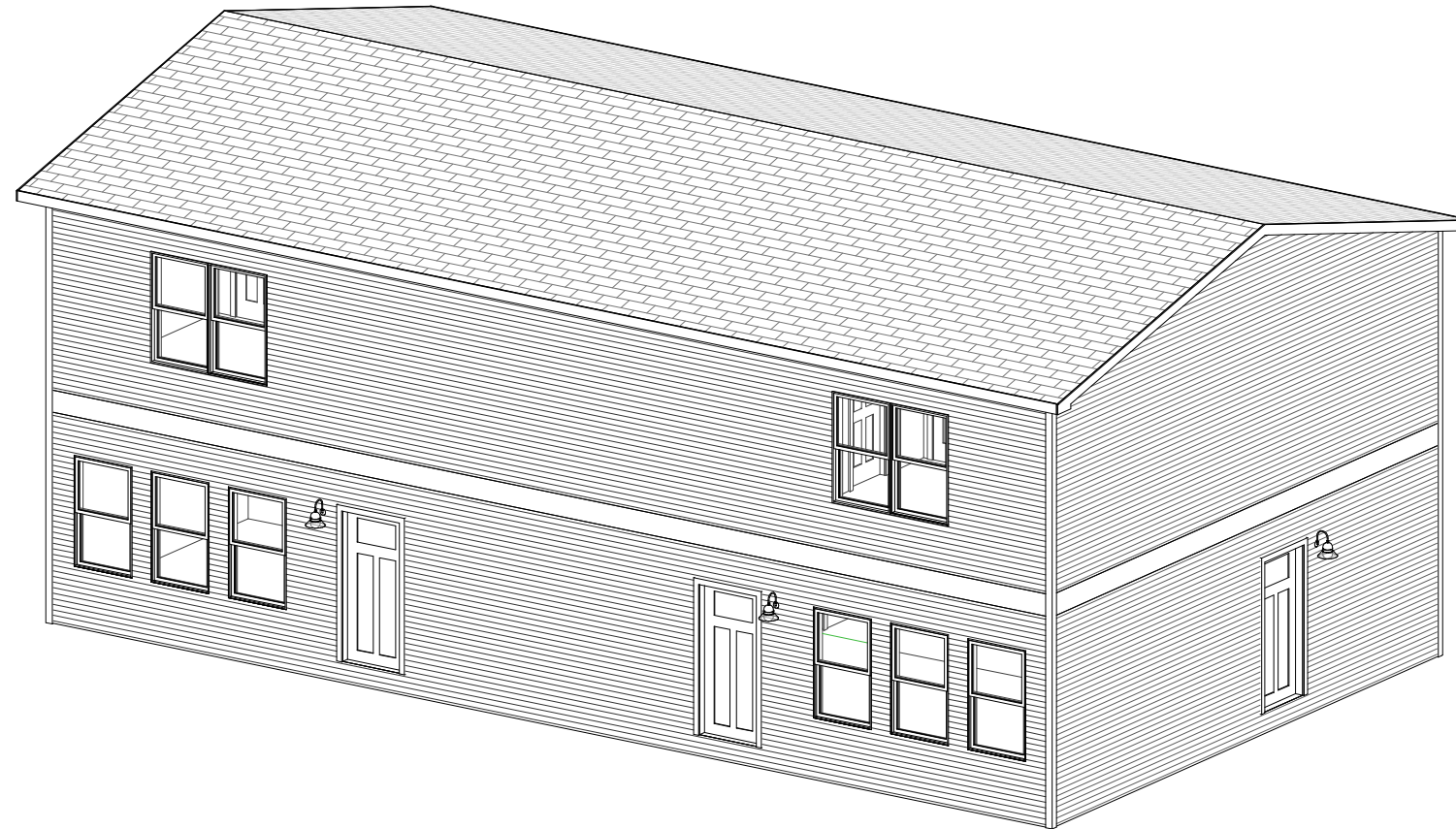
BONNAVILLA
111 GRANT STREET
P.O. BOX 127
AURORA, NE 68818
402.694.5250

CUSTOMER

AMES

SHEET LIST

NO.	SHEET NAME
00	COVER SHEET
01A	1ST FLOOR PLAN
08A	ELECTRICAL PLAN 1ST FLR
08B	ELECTRICAL PLAN 2ND FLR
09	EXTERIOR ELEVATIONS
14	FOUNDATION PLAN
15A	CABINET DETAILS - UNIT 1
15B	CABINET DETAILS - UNIT 2
16	BUILDING SECTION



DRN. BY: CES
DATE: 02/05/20

DWG No.

00



A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET, AURORA, NEBRASKA 68818

SITE ADDRESS
GRAND ISLAND, NE
DRAWING TITLE
COVER SHEET

CUSTOMER AMES
DEALER
BONNAVILLA

CODE: 2018 IRC	
FLOOR	40
LOAD:	
ROOF	40
ZONE:	
WIND	115 VULT
ZONE:	

PSF	PSF	MPH
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△	△	△	△	△	REV.
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			04/30	04/29	DATE
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				0/21	
				9/20	
				E	

CES
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DRN BY

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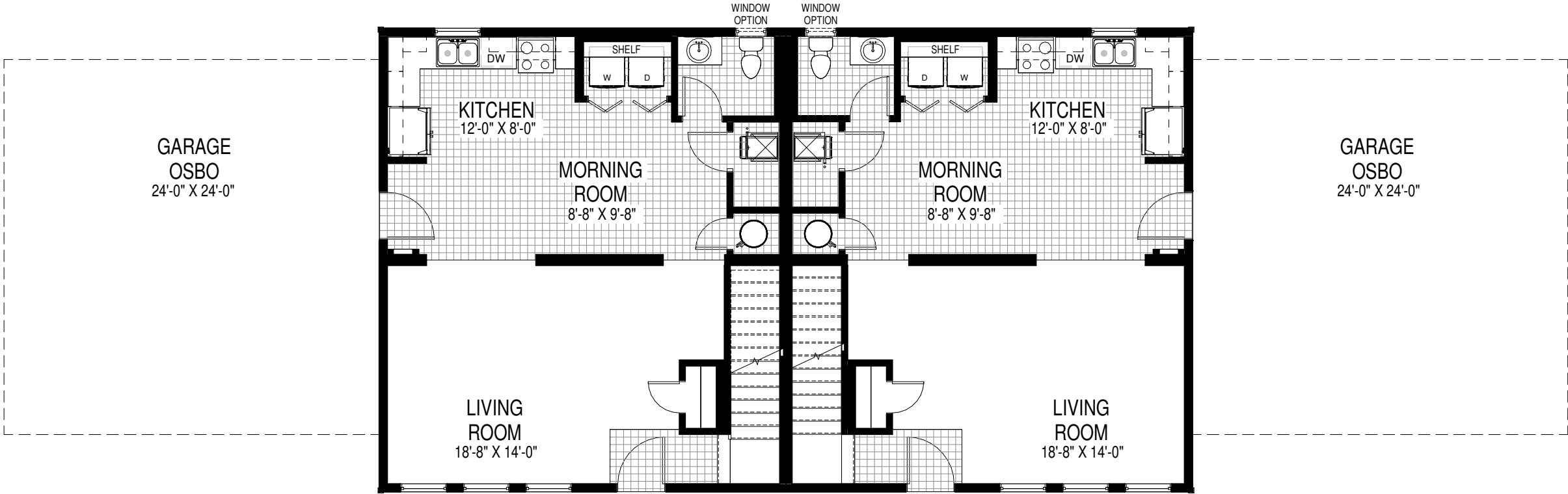
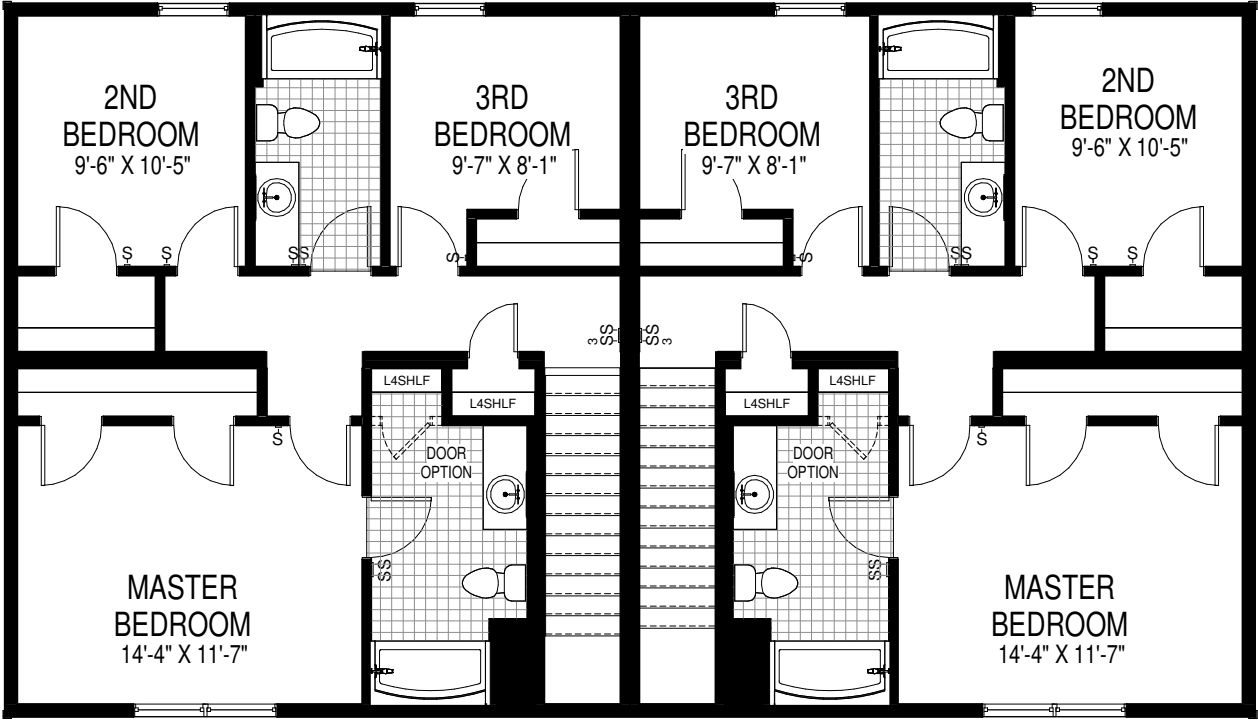
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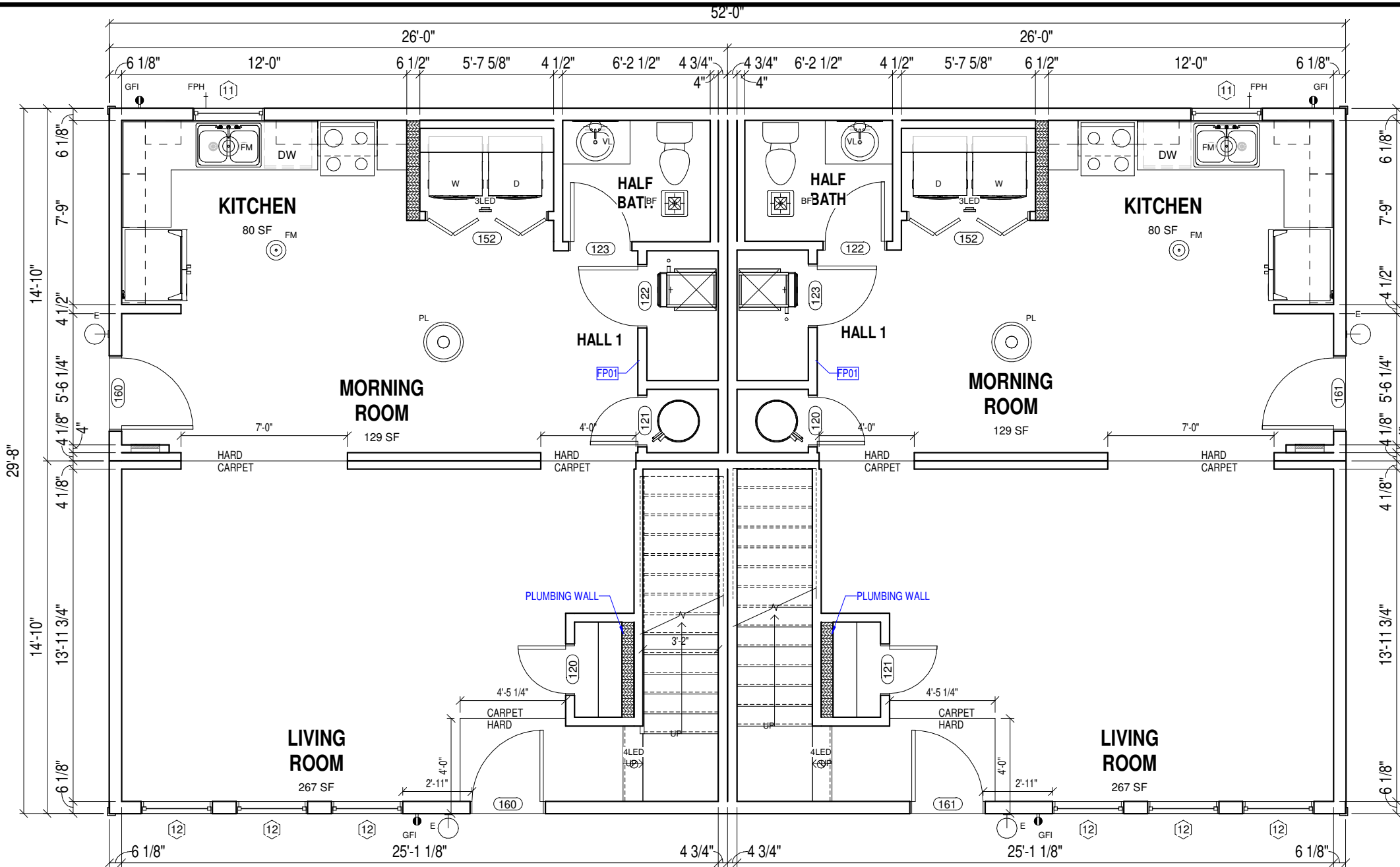
DESCRIPTION

[illegible][illegible][illegible][illegible]

AMES

29'-8" x 52'-0"





1ST FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

EXTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
160	2	36"x80" 3-PANEL FIBERGLASS	RIGHT	6 1/8"	
161	2	36"x80" 3-PANEL FIBERGLASS	LEFT	6 1/8"	

INTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	3"	
120	2	24"x80"	RIGHT	4 1/2"	
121	1	24"x80"	LEFT	3"	
121	2	24"x80"	LEFT	4 1/2"	
122	11	30"x80"	RIGHT	4 1/2"	
123	11	30"x80"	LEFT	4 1/2"	
152	2	60" BI-FOLD DOORS		4 1/2"	

WINDOW SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
11	2	36"x36" S/H	
12	10	36"x60" S/H EGRESS	
15	2	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS

LIGHTING FIXTURE SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
3LED	5	3" LED SURFACE MOUNT CAN LIGHT (WALL)	
4LED	4	4" LED CAN LIGHT (WATERPROOF)	
AA	2	ATTIC ACCESS	
BF	6	BATHFAN/LIGHT COMBO	
E	4	EXTERIOR CLEAR GLASS LIGHT	
FM	14	FLUSH MOUNT LIGHT	
PL	2	PENDANT LIGHT	
VL	6	VANITY LIGHT	

ROOM SQ FT SCHEDULE	
Name	Area
1BCLO	20.00 SF
1BCLO	20.00 SF
2BCLO	18.21 SF
2BCLO	18.21 SF
2ND BEDROOM	99.16 SF
2ND BEDROOM	99.16 SF
3BCLO	12.00 SF
3BCLO	12.00 SF
3RD BEDROOM	84.99 SF
3RD BEDROOM	84.99 SF
ENTRY	23.20 SF
ENTRY	23.20 SF
ENTRY	20.10 SF
ENTRY	20.10 SF
FURN	16.44 SF
FURN	16.38 SF
G CLO	8.00 SF
G CLO	8.00 SF
HALF BATH	31.69 SF
HALF BATH	31.56 SF
HALL 1	31.32 SF
HALL 1	31.40 SF

ROOM SQ FT SCHEDULE	
Name	Area
HALL 2	71.85 SF
HALL 2	71.85 SF
KITCHEN	79.90 SF
KITCHEN	79.81 SF
LIN CLO	6.99 SF
LIN CLO	6.99 SF
LIVING ROOM	266.79 SF
LIVING ROOM	266.79 SF
MAIN BATH	53.81 SF
MAIN BATH	53.81 SF
MASTER BATH	76.86 SF
MASTER BATH	76.86 SF
MASTER BEDROOM	166.45 SF
MASTER BEDROOM	166.45 SF
MORNING ROOM	129.18 SF
MORNING ROOM	129.10 SF
UTILITY	19.72 SF
UTILITY	19.72 SF
WH	8.00 SF
WH	8.00 SF
	2489.01 SF

LEGEND



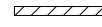
WALL FRAMING ELEVATION



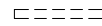
KEYNOTE



6" WALL THICKNESS



HALF WALL



ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

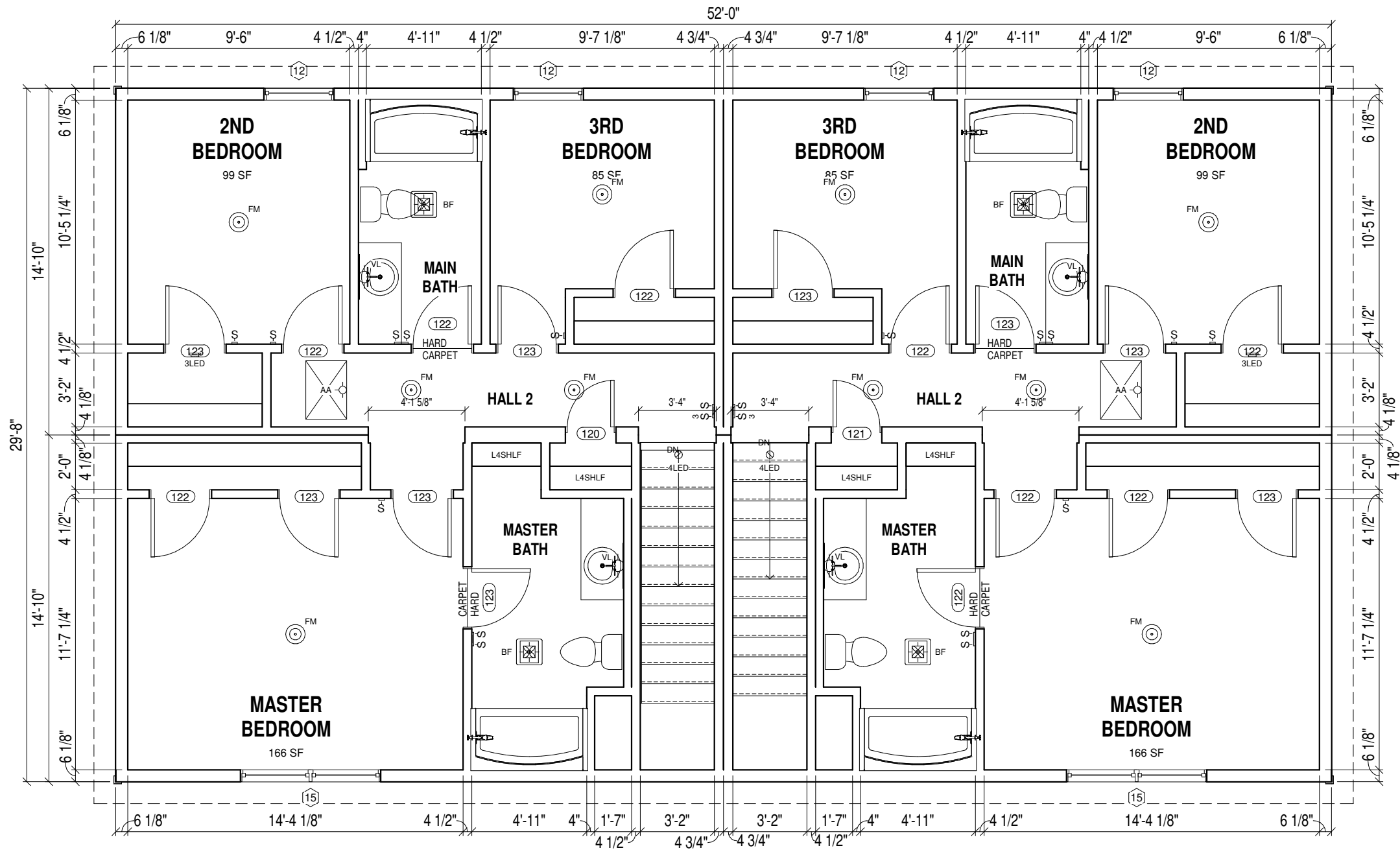
1. ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
2. ALL SHELIVING TO BE SINGLE SHELF W/ROD U.N.O.
3. ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
4. ALL DIMENSION ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

DB	DRAWER BANK
DW	DISHWASHER
L	LINEN
P	PANTRY
PP	POTS & PANS PULLOUT
UNO	UNLESS OTHERWISE NOTED
W	WASHER
D	DRYER
DOV	DOUBLE OVEN CABINET
MWOV	MICROWAVE & OVEN CABINET
OV	OVEN CABINET
MW	MICROWAVE OR MICROWAVE CABINET

KEYNOTES

FP01 RETURN AIR GRILLE
(GRILLE PLACE VERTICAL)



1
01B **2ND FLOOR PLAN**
SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"



DRN. BY: CES
DATE: 02/05/20
DWG No.

01B

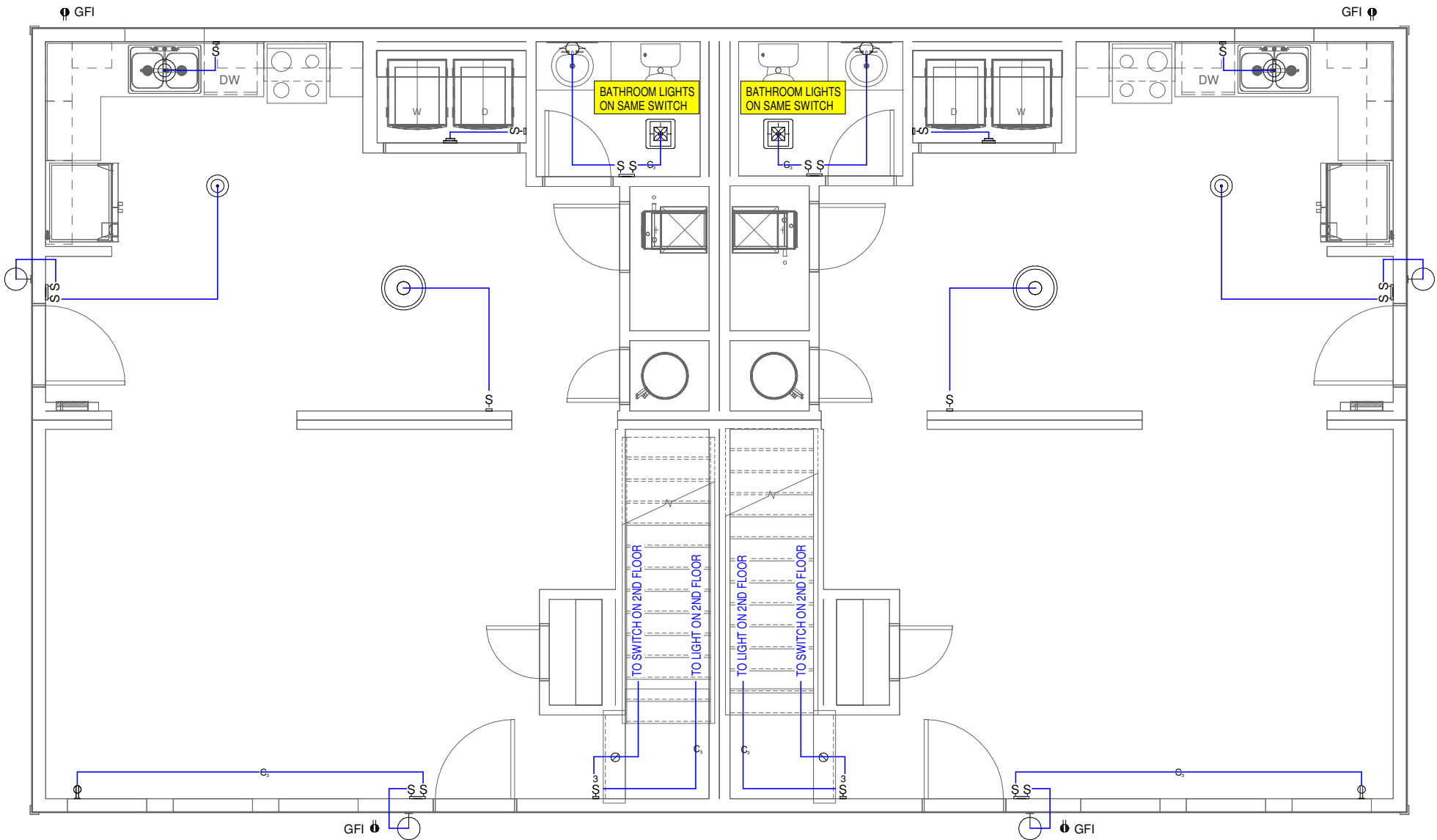
SITE ADDRESS
GRAND ISLAND, NE
DRAWING TITLE
2ND FLOOR PLAN

CUSTOMER **AMES**
DEALER
BONNAVILLA

QUOTE NO:
PID:
CODE: 2018 IRC
FLOOR: 40 PSF
LOAD: 40 PSF
ROOF: 40 PSF
ZONE: 115 VULT MPH

DATE: 04/30/21
DATE: 04/29/20
PRELIMINARY ISSUE
BANK PACK
CES
UNIT: UNIT

DESCRIPTION



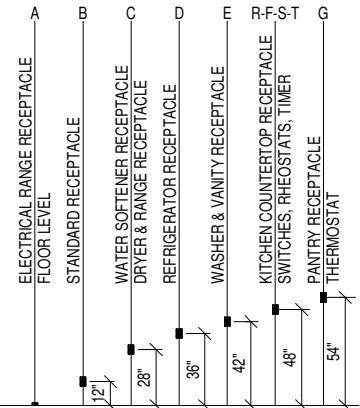
1 ELECTRICAL PLAN 1ST FLR

ELECTRICAL LEGEND

	INTERIOR DUPLEX RECEPT		SWITCH
	INTERIOR SINGLE RECEPT		3-WAY SWITCH
	INTERIOR GROUND FAULT DUPLEX RECEPT		RHEOSTAT
	EXTERIOR GROUND FAULT DUPLEX RECEPT		3-WAY RHEOSTAT
	EXTERIOR DUPLEX RECEPT		TIMER SWITCH
	FLOOR DUPLEX RECEPT		PANEL BOX
	SOFFIT GROUND FAULT DUPLEX RECEPT		JACK SYMBOL FOR TV, PH, CA5, WPH
	ELECTRIC RANGE RECEPT		CABLE JACK
	DRYER RECEPT		PHONE JACK
	220 OUTLET		CA5 DATA JACK
	THERMOSTAT		WPH WALL PHONE JACK
	SMOKE DETECTOR		
	SMOKE-CO DETECTOR		

ELECTRICAL NOTES

- ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
- ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
- NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
- LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
- EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.



ADIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET, AURORA, NEBRASKA 68818

SITE ADDRESS
GRAND ISLAND, NE

DRAWING TITLE
ELECTRICAL PLAN 1ST FLR

CUSTOMER **AMES**

DEALER
BONNAVILLA

DRN. BY: **CES**

DATE: **02/05/20**

DWG No. **08A**

QUOTE NO.:	PID:	CUSTOMER	AMES
CODE: 2018 IRC	FLOOR: 40	PSF	PSF
FLOOR LOAD: 40	ROOF LOAD: 40	PSF	PSF
ZONE: 40	WIND: 115 VULT	MPH	MPH
CES 04/30/21	CES 04/29/20	CES	CES
BANK PACK	PRELIMINARY ISSUE	DATE	DATE
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION



- ## ELECTRICAL NOTES

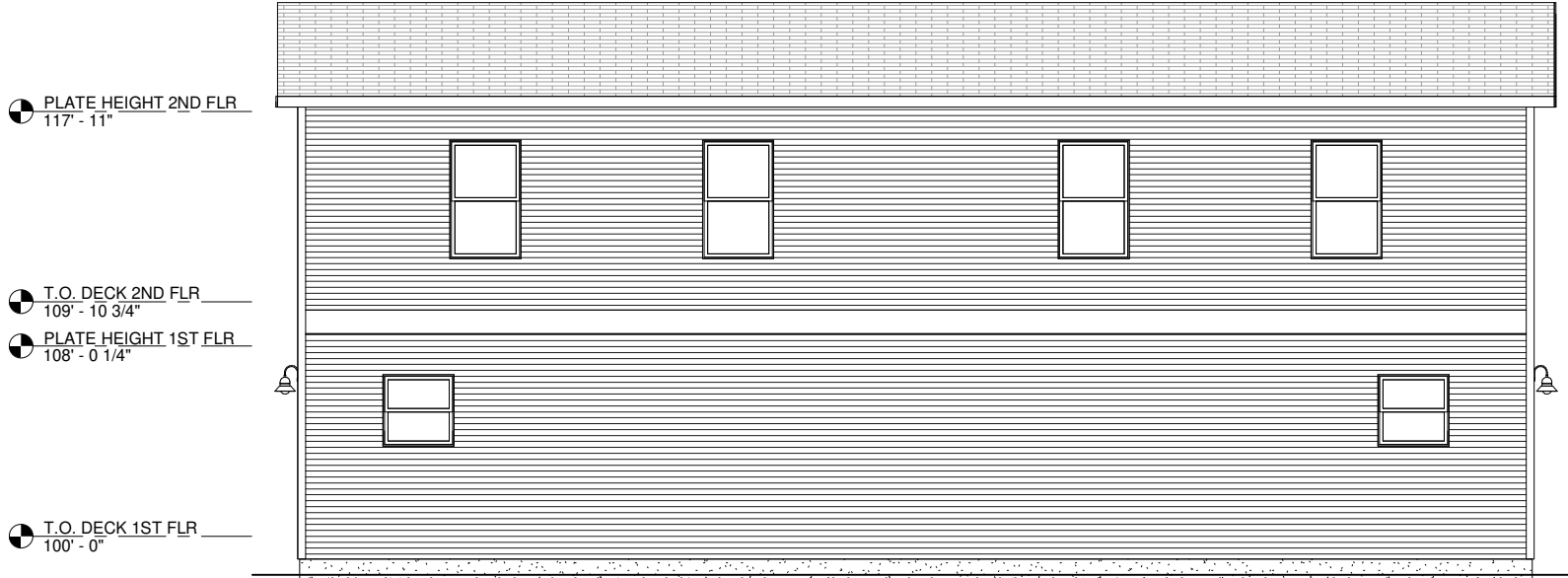
-
- Figure 1: Typical Kitchen Appliance Height Chart
- | Appliance/Feature | Height (inches) |
|--|-----------------|
| Electrical Range Receptacle | Floor Level (0) |
| Standard Receptacle | 12" |
| Water Softener Receptacle | 28" |
| Dryer & Range Receptacle | 36" |
| Refrigerator Receptacle | 42" |
| Washer & Vanity Receptacle | 48" |
| Kitchen Countertop Receptacle | 54" |
| Kitchen Countertop Receptacle (Switches, Rheostats, Timer) | 54" |

08B

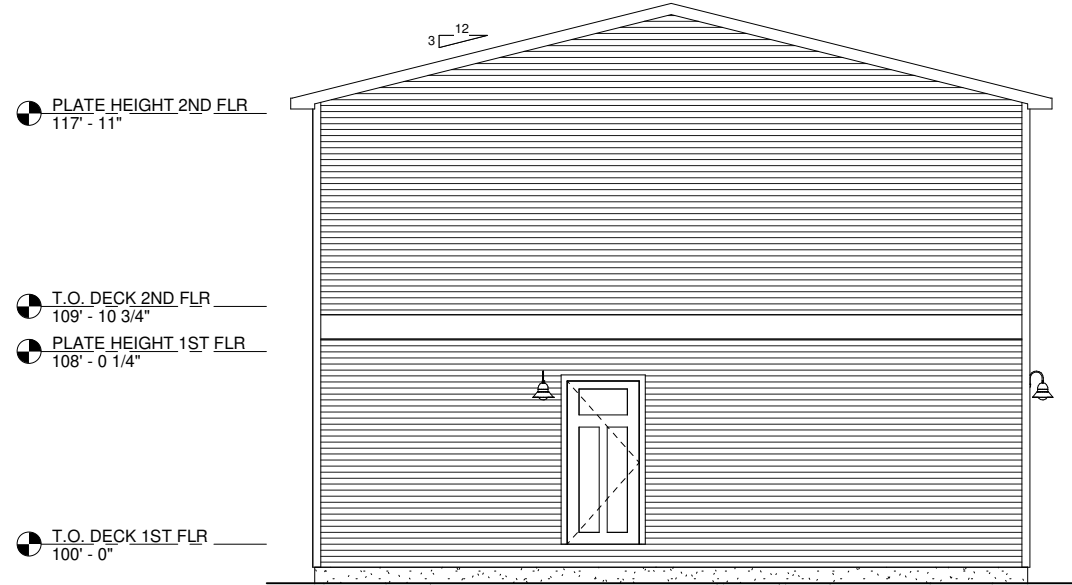
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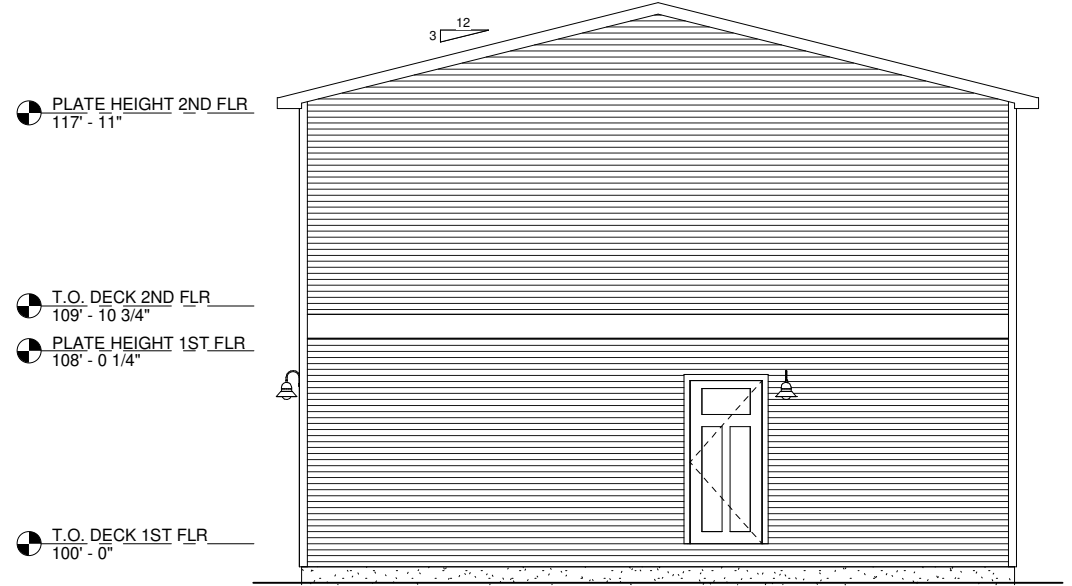
1 FRONT ELEVATION



2 REAR ELEVATION

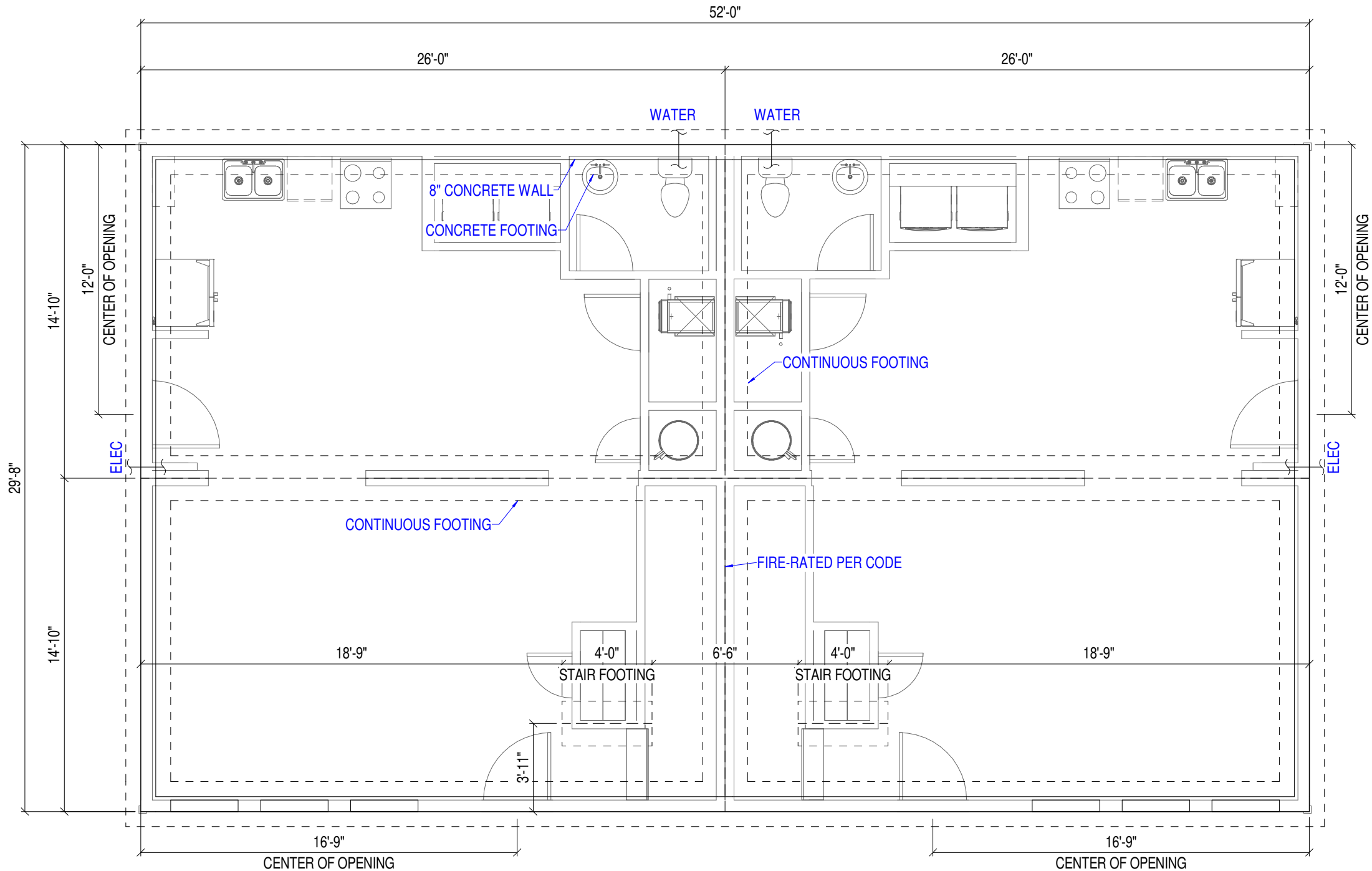


3 LEFT ELEVATION



4 RIGHT ELEVATION

SITE ADDRESS GRAND ISLAND, NE		CUSTOMER AMES		CODE: 2018 IRC		FLOOR LOAD: 40 PSF	
DRAWING TITLE EXTERIOR ELEVATIONS		DEALER BONNAVILLA		DATE 04/30/21		CES BANK PACK	
111 GRANT STREET, AURORA, NEBRASKA 68818				DATE 04/29/20		CES PRELIMINARY ISSUE	
DRN. BY: CES				DATE: 02/05/20			
DWG No.							
09							



1 FOUNDATION PLAN

FOUNDATION NOTES:

- FOUNDATION, FOOTINGS, AND/OR PIERS DESIGNED TO THE FOLLOWING LOADING CRITERIA:
 - FLOOR 40 PSF LL, 15 PSF DL
 - WALL 5 PLF DL
 - ROOF 45 PSF LL, 15 PSF DL
- FOR CRAWLSPACE APPLICATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS FOR UNDER-FLOOR VENTILATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE APPLICABLE BUILDING CODES (OR LOCAL REQUIREMENTS IF MORE STRINGENT).
- FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHERS TO THE APPLICABLE BUILDING CODES.
- THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
- THE HOME SHALL BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE 2017 NATIONAL ELECTRICAL CODE AS PART OF THOSE REQUIREMENTS, A FOOTING/FOUNDATION REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.
- BONNAVILLA HOMES SHALL NOT BE IN ANY WAY RESPONSIBLE FOR THE QUALITY OF THE QUANTITY OF MATERIALS USED (OR NOT USED)
- IN THE FABRICATION AND FINAL CONSTRUCTION OF THIS FOUNDATION, BONNAVILLA HOMES SHALL NOT BE RESPONSIBLE FOR ANY STANDARDS OF WORKMANSHIP.
- WHERE REPRESENTATIVES AND/OR DEALERS OF BONNAVILLA HOMES ARE ACTING AS INDEPENDENT CONTRACTORS, THEY DO SO AS THEIR OWN REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE HOMEOWNER AND/OR FOUNDATION CONTRACTOR TO MEET ALL ELECTRICAL, MECHANICAL, ENERGY, AND BUILDING CODES WHICH MAY APPLY TO THIS FOUNDATION PLAN.
- CRAWLSPACE FOUNDATIONS REQUIRE AN ACCESS MEETING THE REQUIREMENTS OF THE IBC SECTION R408 ACCESS OPENING TO BE 16" x 24". WHEN ACCESS IS LOCATED BELOW GRADE, AN AREAWAY OF 16" x 24" SHALL BE PROVIDED DIRECTLY IN FRONT OF THE ACCESS. AREAWAY SHALL BEGIN BELOW THE LEVEL OF THE CRAWLSPACE ACCESS. ACCESSES SHALL NOT BE LOCATED BENEATH A DOOR OF THE UPPER STORY.
- FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHER
- VERIFY LOCATION, SIZE, AND QUALITY OF EXTERIOR WINDOWS.
- FOOTINGS WIDTH AND DEPTH - FOOTINGS ARE TO BE CALCULATED BY AN ARCHITECT OR ENGINEER BASED ON HOME DESIGN. TYPICAL SPECIFICATIONS FOR PERIMETER FOOTINGS IS 16" x 8". CENTERLINE FOOTING DIMENSION IS 16" WIDE AND 8" DEEP. THESE DIMENSIONS ARE TYPICAL AND ARE AFFECTED BY SOIL TYPE, SOIL COMPACTION, SPECIAL LOADS, ETC.
- ADJUSTABLE COLUMN SUPPORTS MAY BE REPLACED WITH CONTINUOUS BEARING WALL (MINIMUM REQUIREMENTS FOR WALL WILL BE DOUBLE 2 x 4 TOP PLATE, SINGLE 2 x 4 BOTTOM PLATE AND DOUBLE 2 x 4 STUDS @ 16" O.C. OR DOUBLE 2 x 6 TOP PLATE, SINGLE 2 x 6 BOTTOM PLATE AND SINGLE 2 x 6 STUDS @ 16" O.C.
- FOUNDATION ENGINEER TO PROVIDE LOAD PATH FOR UPLIFT FORCES FROM SHEARWALLS TO FOUNDATION (i.e. HOLDDOWNS, STRAPPING, ETC.), SUGGESTED DESIGN LOADS TO BE EQUAL TO CAPACITY OF HOLDDOWN. (i.e. SIMPSON LSTHD8RJ = 3115# UPLIFT).
- THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
- NOTE: *****THE POINT LOADS THAT ARE SHOWN ON THIS FOUNDATION DRAWING ARE ESTIMATED VALUES. THESE VALUES COULD CHANGE WHEN THE HOME IS ENGINEERED. THESE ESTIMATED VALUES SHOULD NOT BE USED TO SIZE FOOTINGS. THE COMPLETE FOUNDATION DESIGN IS NOT THE RESPONSIBILITY OF BONNAVILLA HOMES.*****



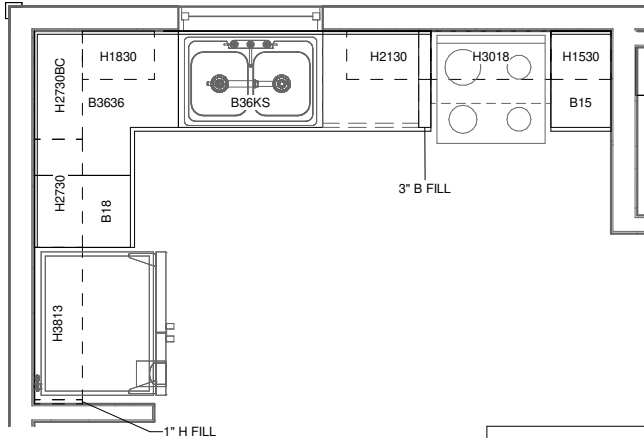
DRN. BY: CES
DATE: 02/05/20
DWG No.

SITE ADDRESS
GRAND ISLAND, NE
DRAWING TITLE
FOUNDATION PLAN

CUSTOMER **AMES**
DEALER
BONNAVILLA

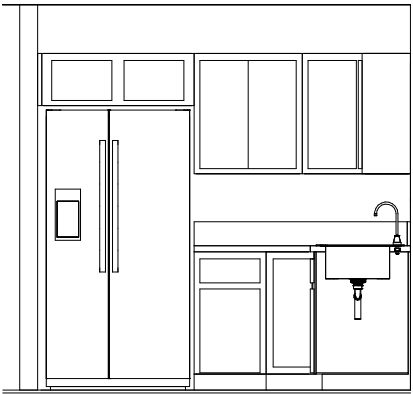
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QUOTE NO:
CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 40
WIND SPEED: 115 VULT MPH

CES 04/30/21
CES 04/29/20
BANK PACK
PRELIMINARY ISSUE
DESCRIPTION

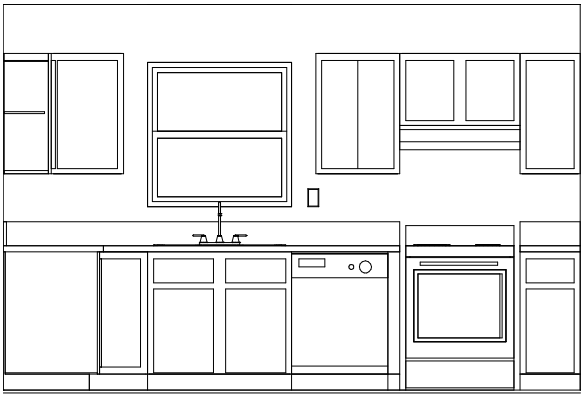


1
15A **KITCHEN**
SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

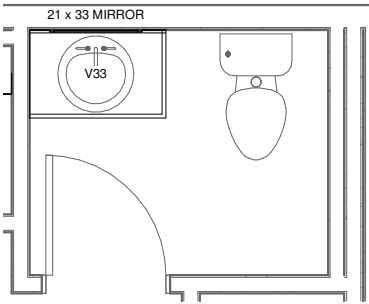
CABINET SCHEDULE - KITCHEN 1												
QTY	CABINET	DOOR								DRAWER		Comments
		9 3/4"x27	9x27	12x15	12x21	12x27	15x10	15x21	15x27	12x6	15x6	
1	1" H FILL											
1	3" B FILL											
1	B15				1					1		
1	B18										1	
1	B36KS							2			2	
1	B3636	2										
1	H1530					1						
1	H1830								1			
1	H2130		2									
1	H2730					2						
1	H2730BC					1						
1	H3018			2								
1	H3813						2					



1A **KITCHEN**

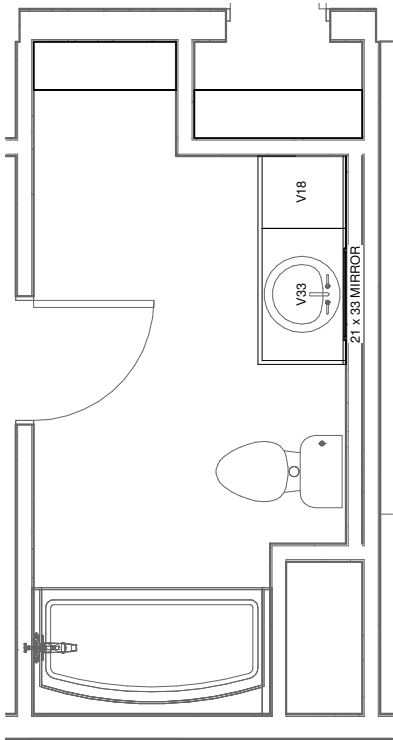


1B **KITCHEN**



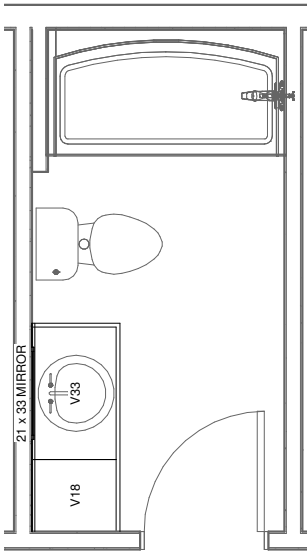
2
15A **HALF BATH**
SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - HALF BATH 1			
QTY	CABINET	DOOR 15x21	Comments
1	21 x 33 MIRROR		
1	V33	2	



3
15A **MASTER BATH**
SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - MASTER BATH 1			
QTY	CABINET	DOOR 15x21	Comments
1	21 x 33 MIRROR		
1	V18	1	
1	V33	2	



4
15A **MAIN BATH**
SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - MAIN BATH 1			
QTY	CABINET	DOOR 15x21	Comments
1	21 x 33 MIRROR		
1	V18	1	
1	V33	2	

CABINET LIST		
QTY	CABINET	Comments
2	1" H FILL	
2	3" B FILL	
6	21 x 33 MIRROR	
2	B15	
2	B18	
2	B36KS	
2	B3636	
2	H1530	
2	H1830	
2	H2130	
2	H2730	
2	H2730BC	
2	H3018	
2	H3813	
4	L4SHLF	
4	V18	
6	V33	



SITE ADDRESS
GRAND ISLAND, NE
DRAWING TITLE
CABINET DETAILS - UNIT 1

CUSTOMER **AMES**
DEALER
BONNAVILLA

CODE: 2018 IRC
FLOOR LOAD: 40
ROOF LOAD: 40
WIND ZONE: 115 VULT MPH
QUOTE NO:

PID:

04/30/21
04/29/20
CES
CES
BANK PACK
PRELIMINARY ISSUE
DATE
DATE
DESCRIPTION

DRN. BY: CES
DATE: 02/05/20
DWG No.



15B

SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - KITCHEN 2												
QTY	CABINET	DOOR								DRAWER		Comments
		9 3/4"x27	9x27	12x15	12x21	12x27	15x10	15x21	15x27	12x6	15x6	
1	1" H FILL											
1	3" B FILL											
1	B15				1					1		
1	B18							1			1	
1	B36KS							2			2	
1	B3636	2										
1	H1530					1						
1	H1830								1			
1	H2130		2									
1	H2730					2						
1	H2730BC					1						
1	H3018			2								
1	H3813						2					



KITCHEN



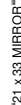
KITCHEN



15B

SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - HALF BATH 2			
QTY	CABINET	DOOR	Comments
		15x21	
1	21 x 33 MIRROR		
1	V33	2	



15B

SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - MASTER BATH 2			
QTY	CABINET	DOOR	Comments
		15x21	
1	21 x 33 MIRROR		
1	V18	1	
1	V33	2	



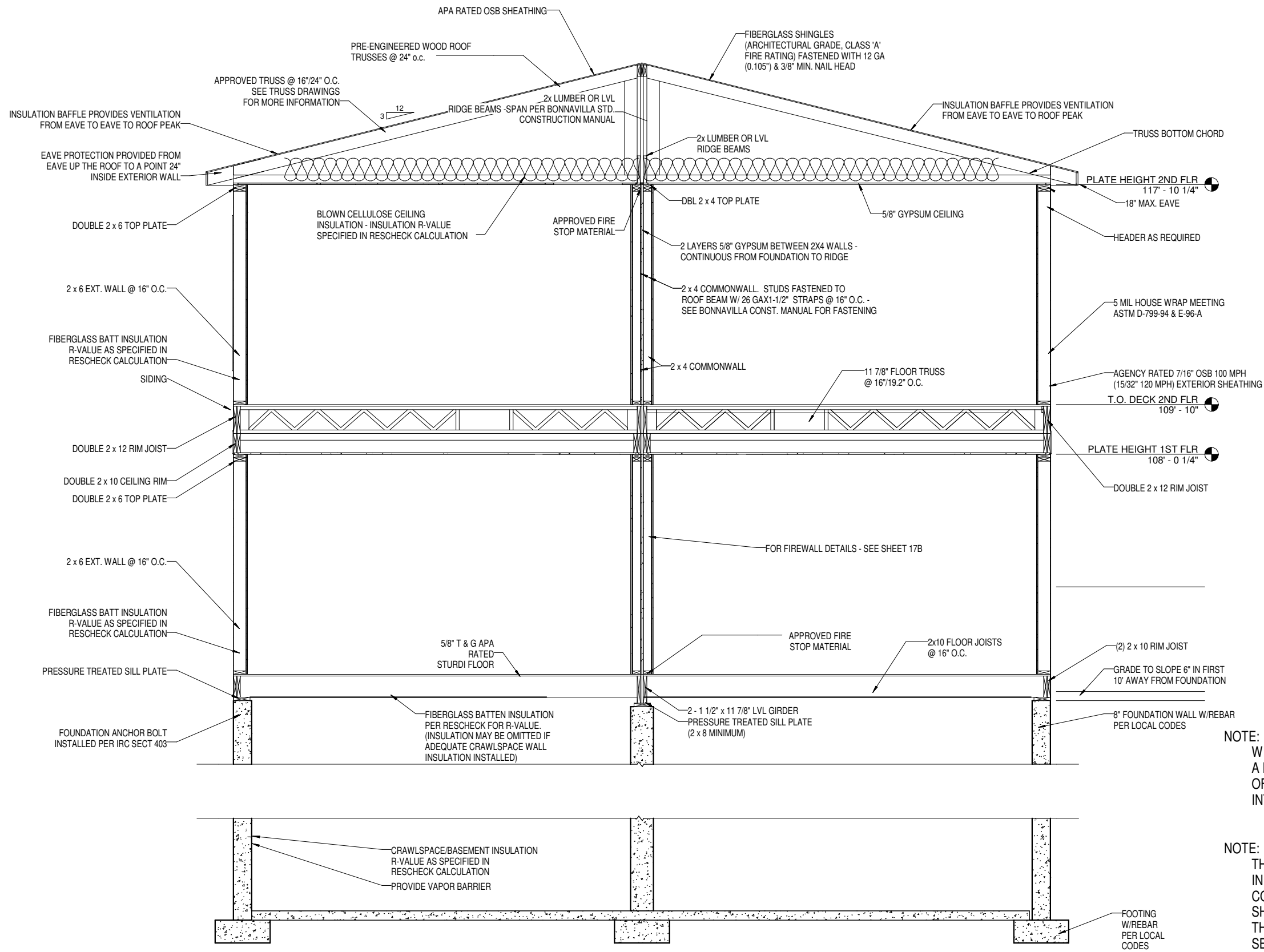
15B

SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 1/4" = 1'-0"

CABINET SCHEDULE - MAIN BATH 2			
QTY	CABINET	DOOR	Comments
		15x21	
1	21 x 33 MIRROR		
1	V18	1	
1	V33	2	

CABINET LIST		
QTY	CABINET	Comments
2	1" H FILL	
2	3" B FILL	
6	21 x 33 MIRROR	
2	B15	
2	B18	
2	B36KS	
2	B3636	
2	H1530	
2	H1830	
2	H2130	
2	H2730	
2	H2730BC	
2	H3018	
2	H3813	
4	L4SHLF	
4	V18	
6	V33	

5/5/2021 11:02:36 AM T:\Brochure\2020 Plans\RESIDENTIAL ATTACHED (DUPLEX_TOWNHOME)\2 STORY PLANS\52 AMES\AMES 2020.rvt



1 BUILDING SECTION

NOTE:
WHEN A CRAWLSPACE IS USED IN LIEU OF A BASEMENT FOUNDATION, CONSTRUCTION OF CRAWLSPACE SHALL BE SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE CHAPTER 4

NOTE:
THE HOME SHOULD BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE NATIONAL ELECTRICAL CODE. AS PART OF THOSE REQUIREMENTS, A FOOTING REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.

SITE ADDRESS GRAND ISLAND, NE		CUSTOMER AMES	CODE: 2018 IRC		PSF
DRAWING TITLE BUILDING SECTION		DEALER BONNAVILLA	FLOOR LOAD: 40		PSF
BONNAVILLA A DIVISION OF CHIEF INDUSTRIES, INC. 111 GRANT STREET, AURORA, NEBRASKA 68818			ROOF ZONE: 40		PSF
DRN. BY: CES			WIND ZONE: 115 VULT MPH		MPH
DATE: 02/05/20			CES 04/30/21		
DWG No.			CES 04/29/20		
16			PRELIMINARY ISSUE		